

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
January 2, 2019
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. Approval of Minutes for the November 13, 2018 Planning and Zoning Commission meeting.
2. **P2018-044 (David)**
Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Russell Frank for the approval of a final plat for Lot 1, Block A, Hacienda Car Wash Addition being a 2.008-acre tract of land identified as portions of Lots 1 & 2, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.
3. **P2018-045 (David)**
Consider a request by Jennifer Haynes of Urban Structure on behalf of Andrew Malzer of RaceTrac Petroleum, Inc. the approval of a replat for Lots 4 & 5, Block A, the Woods at Rockwall Addition being a 4.47-acre tract of land identified as Lots 1 & 2, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 & 2205 Ridge Road [FM-740], and take any action necessary.
4. **P2018-046 (David)**
Consider a request by David Ellis for the approval of a replat for Lots 5, 6 & 7, Block A, Ellis Centre, Phase 2 Addition being a 2.62-acre tract of land identified as Lots 1 & 3, Block A, Ellis Centre, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1930 & 1950 Alpha Road, and take any action necessary.

APPOINTMENTS

5. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

DISCUSSION ITEMS

6. **Z2018-055 (Korey)**
Hold a public hearing to discuss and consider a request by Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky of 7.1 Ridge, LLC for the approval of a Specific Use Permit (SUP) for a *Mini-Warehouse* facility on a 2.595-acre tract of land being a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located southwest of the intersection of W. Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.
7. **Z2018-056 (Korey)**
Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Commercial (C) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.
8. **Z2018-057 (Korey)**
Hold a public hearing to discuss and consider a request by Bill Bricker of Columbia Development Company, LLC for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses being a 56.586-acre tract of land identified as a portion of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Planned Development District 59 (PD-59), located between W. Washington Street and T. L. Townsend Drive, and take any action necessary.

9. Z2018-058 (David)

Hold a public hearing to discuss and consider a request by Tim McCallum of He Wines She Dines, LLC on behalf of Buffalo Creek Business Park, LTD for the approval of a Specific Use Permit (SUP) for a *Craft Winery* and *Commercial Amusement/Recreation (Outdoor)* on a 7.2-acre tract of land identified as Tracts 20-01 & 20-7 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 203 County Line Road, and take any action necessary.

10. Z2018-059 (Korey)

Hold a public hearing to discuss and consider a request by Heather Cullins for the approval of a zoning change from a Single-Family Estate 2.0 (SFE-2.0) District to Single Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 1085 Dalton Road, and take any action necessary.

11. P2018-047 (Korey)

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH West Pods, LTD for the approval of a preliminary plat for Breezy Hill, Phase XII containing 35 single-family residential lots on 44.525-acres of land identified as a portion of Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located west of the intersection of John King Boulevard and Cozy View Drive, and take any action necessary.

12. SP2018-042 (David)

Discuss and consider a request by Jeff Carol of Carol Architects, Inc. on behalf of Terry Morgan of Z06 Properties, LLC for the approval of a site plan for an office/warehouse building on a 5.690-acre tract of land identified as Lot 3, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive, and take any action necessary.

13. SP2018-043 (David)

Discuss and consider a request by Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a site plan for a 375-unit condominium building on a 6.2-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

14. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ P2018-035: Lot 1, Block A, Alders at Rockwall Addition [*Approved*]
- ✓ P2018-041: Preliminary Plat for Breezy Hill, Phase XI [*Approved*]
- ✓ P2018-042: Final Plat for Breezy Hill, Phase VIII [*Approved*]
- ✓ P2018-043: Final Plat for Whisper Rock [*Approved*]
- ✓ Z2018-043: SUP for Rockwall Honda (*1st Reading*) [*Approved*]
- ✓ Z2018-046: SUP for Temporary Educational Buildings (*1st Reading*) [*Approved*]
- ✓ Z2018-048: SUP for an Accessory Building for 205 S. Clark Street (*1st Reading*) [*Approved*]
- ✓ Z2018-049: SUP for an Animal Shelter for 1700 E. SH-66 (*1st Reading*) [*Continued to January 7, 2019*]
- ✓ Z2018-050: SUP for a Covered Patio in the Take-Line for 5808 Constellation Circle (*1st Reading*) [*Continued to January 21, 2019*]
- ✓ Z2018-052: SUP for a Mini-Warehouse Facility on Ranch Trail Road (*1st Reading*) [*Approved*]
- ✓ Z2018-053: SUP for a Detached Garage for 1700 E. SH-66 (*1st Reading*) [*Denied*]
- ✓ Z2018-054: SUP for a Building Exceeding 36-Feet in the Scenic Overlay (SOV) District (*1st Reading*) [*Approved*]
- ✓ SP2018-037: Variances, Exceptions and Waivers for 265-Unit Condominium Development in the Harbor District [*Approved*]
- ✓ SP2018-039: Variances and an Exception for Lime Media [*Approved*]

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 28th day of December 2018 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
January 2, 2019
5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-042 (David)

Discuss and consider a request by Jeff Carol of Carol Architects, Inc. on behalf of Terry Morgan of Z06 Properties, LLC for the approval of a site plan for an office/warehouse building on a 5.690-acre tract of land identified as Lot 3, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive, and take any action necessary.

2. SP2018-043 (David)

Discuss and consider a request by Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a site plan for a 375-unit condominium building on a 6.2-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 28th day of December, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
November 13, 2018
6:00 P.M.

I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, Mark Moeller, Annie Fishman, Tracey Logan and John Womble. Absent from the meeting was Commissioner Eric Chodun. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planer Korey Brooks, Planner, Daniella Maubuika, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, Civil Engineers, Jeremy White and Sarah Hager.

II. CONSENT AGENDA

1. Approval of Minutes for the September 11, 2018 Planning and Zoning Commission meeting.

2. P2018-037

Discuss and consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus of Atticus Summer Lee Townhomes for the approval of a replat for Lots 3 & 4, Block A, Harbor Village Addition, being a 6.196-acre tract of land currently identified as Lot 2A of the Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary

3. SP2018-031

Discuss and consider a request by Brandon Waldrum of CEI Engineering Associates, Inc. on behalf of Kelly Cannell of Murphy Road, LTD for the approval of a site plan for a carwash in conjunction with an existing retail store with gasoline sales (*i.e.* 7/11) on a 0.996-acre tract of land being identified as a portion of Lot 2 and all of Lot 1, Block B, Horizon Ridge Center Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3520 Horizon Road [FM-3097], and take any action necessary.

Commissioner Welch made a motion to approve the consent agenda. Commissioner Fishman seconded the motion which passed by a vote of 6-0 with Commissioner Chodun absent.

III. APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Architectural Review representative gave a brief explanation concerning agenda items that were discussed at the Architectural Review Board meeting.

IV. PUBLIC HEARING ITEMS

5. Z2018-044

Hold a public hearing to discuss and consider a request by Reubin E. Harle for the approval of a Specific Use Permit (SUP) for an accessory building that does not meet the requirements stipulated by the Unified Development Code (UDC) on a 4.632-acre parcel of land identified as Lot 5R, Block A, Zion Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family One (SF-1) District, addressed as 825 Zion Hills Circle, and take any action necessary.

63 Senior Planner, Korey Brooks, gave a brief explanation and background of the request. On
64 October 1, 2018, the City Council approved a zoning change from an Agricultural District to a
65 Single-Family One District for the purpose of constructing an accessory building on the subject
66 property. The applicant, Reubin E. Harle is requesting the approval of a Specific Use Permit to
67 allow for the construction of a metal accessory building that does not meet the requirements
68 stipulated the Unified Development Code on a 4.632-acre lot. The 3,000 square feet being a 50' x
69 60 structure will stand approximately 16-feet in height, and have a roll-up door, and an overhang
70 on the left and right sides of the structure. According to the submitted site plan, the accessory
71 building will be situated to the rear of the primary structure, and the existing concrete driveway
72 will be extended to the new accessory building. The accessory building will be more than 150-
73 feet from the front, side, and rear property lines. According to the applicant, the accessory
74 building will be utilized as a barn to store lawn equipment and will not be used for commercial
75 land uses. Currently the subject property has two accessory buildings that do not conform to
76 the requirements of the Unified Development Code and according to the applicant one of the
77 buildings will be removed once construction of the new accessory building has been completed.
78 The applicant is proposing to keep the second accessory building which is approximately 400
79 square feet.

80
81 Chairman Lyons asked for questions from staff.

82
83 Commissioner Logan asked for clarification of the applicant's current zoning change had it been
84 zoned Single-Family 4 would they not need the Specific Use Permit. Mr. Brooks explained that
85 for consistency with the surrounding areas they were kept at SF-1.

86
87 Commissioner Fishman asked if there were similar accessory building surrounding the subject
88 property. Mr. Brooks indicated there were and also similar in style.

89
90 Chairman Lyons asked the applicant to come forward and speak.

91
92 Reubin Harle
93 825 Zion Hill Circle
94 Rockwall, TX
95

96 Mr. Harle came forward and shared reasons behind the request and indicated he was available
97 for questions.

98
99 Chairman Lyons opened up the public hearing and asked if anyone wished to speak to come
100 forward and do so; there being no one indicating such Chairman Lyons closed the public
101 hearing and brought the item back to the Commission for discussion or a motion.

102
103 Commissioner Welch made a motion to approve Z2018-044 with staff recommendations.
104 Commissioner Moeller seconded the motion which passed by a vote of 6-0 with Commissioner
105 Chodun absent.

106
107
108 6. Z2018-045

109 Hold a public hearing to discuss and consider a request by Kira Bauman of Bauman Consultants on
110 behalf of John Gatz of EcoSite for the approval of a Specific Use Permit (SUP) for a *Freestanding*
111 *Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as Yellow
112 Jacket Park, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall
113 County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane,
114 west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action
115 necessary.

116
117 Planning Manager, David Gonzales, gave a brief explanation and background of the request. The
118 applicant is requesting the approval of a Specific Use Permit to allow a freestanding commercial
119 antenna. The proposed monopole will be a freestanding structure that will be 150-feet in overall
120 height. The T-Mobile antenna and lighting rod will be affixed to the top of the monopole, which
121 will extend the overall height to 160-feet. The applicant has stated that the proposed monopole
122 will incorporate an additional three antennas for different carriers in the future. The additional
123 antennas will not increase the overall height of the structure, and a maximum height of 160-feet
124 has been incorporated as an operational condition in the Specific Use Permit ordinance. The

125 antennas will have ground-mounted equipment that will be enclosed within a metal cabinet. The
126 proposed monopole, metal cabinets, and any accessory equipment will be enclosed in a 50-foot
127 by 50-foot compound that will be secured by an eight foot high wrought iron fence, and
128 screened by Nellie R. Stevens Holly trees that will be planted on eight to ten foot centers. Prior
129 to constructing the proposed freestanding commercial antenna, the applicant has stated that an
130 additional 30 public parking spaces will be constructed along the western property line of the
131 park this will increase the total number of public parking spaces in the park from 80 parking
132 spaces to 110 parking spaces. The addition of the public parking spaces has been included as
133 an operational condition in the SUP ordinance.
134

135 Mr. Gonzales advised the Commission that the applicant was present and available for questions
136 as well as staff.
137

138 Chairman Lyons asked the applicant to come forward and speak.
139

140 Bill Bauman
141 2300 Springer Drive
142 Arlington, TX
143

144 Mr. Bauman came forward and provided a lengthy power point presentation that went over the
145 request and indicated he was available for questions.
146

147 Chairman Lyons asked for questions from the Commission.
148

149 Commissioner Fishman asked for further detail as to the location being so close to a park. Mr.
150 Bowman shared that with the studies that have been conducted those show they are very
151 resilient and safe.
152

153 General discussion took place between the Commission in regards to the location of the
154 antenna and the need for such with the growth in demand for such.
155

156 Chairman Lyons opened up the public hearing and asked if anyone wished to speak to come
157 forward and do so; there being no one indicating such Chairman Lyons closed the public
158 hearing and brought the item back to the Commission for discussion or a motion.
159

160 Commissioner Moeller made a motion to approve Z2018-045 with staff recommendations.
161 Commissioner Womble seconded the vote which passed by a vote of 6-0 with Commissioner
162 Chodun absent.
163

164
165 7. Z2018-046

166 Hold a public hearing and consider a request by Brad Helmer on behalf of Heritage Christian Academy
167 (HCA) for the approval of a Specific Use Permit (SUP) allowing existing temporary educational buildings
168 in conjunction with a private school to remain on a 6.64-acre parcel of land identified as Lot 1, Block A,
169 Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14
170 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad
171 Street [SH-205], and take any action necessary.
172

173 Senior Planner, Korey Brooks, provided a brief explanation and background of the request. The
174 applicant, Brad Helmer of Heritage Christian Academy is requesting the approval of a Specific
175 Use Permit to allow existing temporary educational buildings in conjunction with an existing
176 private school to remain on the subject property. The temporary educational buildings are
177 located behind the main structure and are approximately 1,540square feet each. Mr. Brooks
178 indicated that in 1999, the City Council approved a Conditional Use Permit to allow one
179 temporary educational building on the subject property for a period of five years. The CUP
180 stipulated that after a period of three years, the City Council could review the CUP to determine
181 if permanent buildings were planned to replace the temporary educational buildings. In 2003,
182 the City Council approved a Conditional Use Permit to allow additional temporary educational
183 buildings on the subject property for a period of five years. In 2009, the City Council approved a
184 Specific Use Permit to allow three temporary educational buildings on the subject property. At
185 that time, the Specific Use Permit ordinance stipulated that it would be valid for a period of one
186 year, at which time the City Council shall review the Specific Use Permit to determine if an

187 extension is warranted. On September 20, 2010, the City Council reviewed the SUP and
188 approved an extension for three years. In November, 2013, the City Council approved a five year
189 extension. At the time of the approval of the five year extension, staff, the Planning and Zoning
190 Commission, and the City Council were informed that this would be the last request for
191 extension of the Specific Use Permit and that permanent educational buildings would be
192 constructed within that time. Should this request be approved, it will be the fifth extension for
193 temporary educational buildings on the subject property. The Unified Development Code goes
194 on to state that the application for a temporary educational building shall include a schedule
195 indicating the expected phasing-out of the temporary structure, and will be valid for a period of
196 five years. At this time, the expected phase-out period has been exceeded and a new proposed
197 schedule has not been provided. If the City Council choose to approve this request, the
198 applicant would be allowed five additional years to continue the use of the temporary
199 educational buildings on the subject property, and shall be required to provide an updated
200 schedule indicating the expected phasing-out of the temporary educational buildings. Should
201 the City Council deny this request, the applicant shall be required to remove the temporary
202 educational buildings within a reasonable amount of time. On October 19, 2018, staff mailed 34
203 notices to property owners and residents within 500-feet of the subject property and also
204 notified the Waterstone Estates Homeowner's Association which is the only HOA/Neighborhood
205 Organization that is within 1,500-feet of the subject property participating in the Neighborhood
206 Notification Program. Staff did not receive any notices returned.
207

208 Chairman Lyons asked for questions from the Commission.
209

210 Commissioner Welch asked how long the buildings at the Lake Pointe Church have been at their
211 location and if those are under a Specific Use Permit. Mr. Miller indicated those were placed
212 before the Ordinance stipulated a time requirement.
213

214 Chairman Lyons asked the applicant to come forward.
215

216 Brad Helmer
217 2917 Chuck Wagon Drive
218 Rockwall, TX
219

220 Mr. Helmer came forward and shared reasons behind the request and provided a lengthy
221 presentation and background regarding the request. He explained that any staff members from
222 HCA who have may previously come before the city council to request time extensions on the
223 use of portable buildings are no longer employed by HCA. Therefore, he was not aware that a
224 plan (schedule) needed to be presented to the City as part of a request to obtain an additional
225 extension for use of temporary portable buildings. He went on to explain the proposal he plans
226 to present to his board of directors later this month pertaining to future planning for the addition
227 of classrooms, a P.E. gym and a future "competition" gymnasium. He went on to explain that he
228 will commit to attempting to complete this plan for future expansion and addition of classrooms
229 within three to four years; however, he would not be able to do so within one year. He shared
230 that funds will be raised for a competition gymnasium; however, the board and school can go
231 back to the donors to ask that the funding be redirected to be used for additional classrooms
232 instead. He respectfully asked the Commission for consideration in approving their request.
233

234 Chairman Lyons asked the applicant how far along the five year were they currently at. Mr.
235 Howard indicated that the previous administration did not pass that information to him.
236

237 Extensive general discussion took place between the Commission sharing their concerns with
238 an additional five year extension due to the current request already being the third one that has
239 come forward.
240

241 Chairman Lyons opened up the public hearing and asked if anyone wished to speak to come
242 forward and do so; there being no one indicating such Chairman Lyons closed the public
243 hearing and brought the item back to the Commission for discussion or a motion.
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245 Commissioner Welch made a motion to approve Z2018-046 to not exceed a period of one year.
246 Commissioner Fishman seconded the motion which passed by a vote of 6-0 with Commissioner
247 Chodun absent.
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8. Z2018-047

Hold a public hearing to discuss and consider the adoption of the OURHometown Vision 2040 Comprehensive Plan (i.e. 2018 Comprehensive Plan Update) and take any action necessary.

Planning Director, Ryan Miller, gave a brief explanation and background of the request. The OURHometown Vision 2040 Comprehensive Plan commenced in October 2016 after the City Council directed staff to update the Comprehensive Plan for the purpose of accounting for the growth experienced by the community since the original adoption of Hometown 2000 Comprehensive Plan. As part of this process the City Council appointed a seven member citizen action committee, Comprehensive Plan Advisory Committee, which held monthly meetings starting on February 13, 2017. Through these meetings, the CPAC reviewed the current Hometown 2000 Comprehensive Plan, and adapted the vision of this plan to meet the future needs of the City. At the October 9, 2018 City Council meeting, the City Council reviewed the proposed plan and directed staff to bring the Comprehensive Plan Update forward through the approval process. As part of this approval process, staff is bringing the Comprehensive Plan Update forward to all boards and commissions for a work session and recommendation to the City Council concerning the update. Both the Parks Board and the Architectural Review Board both voted for approval to recommend to City Council.

Mr. Miller advised the Commission the request is a public hearing and staff was available for questions.

Chairman Lyons opened up the public hearing and asked if anyone wished to speak to come forward and do so.

Allen Hinckley
12300 Park Central Drive
Dallas, TX

Mr. Hinckley came forward and indicated he is manager and represents Rockwall 227 and Ridgeview Capital Group which owns 1,961 acres that is included in the Comprehensive Plan and is generally located southeast of FM 550 and northwest of FM548 which is located next to the Chisholm Trail mobile home park. Mr. Hinckley shared that it is in the furthest, most eastern portion of the City of Rockwall's ETJ and expressed concern with the request. He shared his desire for the City to consider modifying the City's Draft Comprehensive Plan to accurately reflect plans that are in place related to future development of this area.

Bob Wacker
309 Featherstone
Rockwall, TX

Mr. Wacker came forward and shared that he is a member of the CPAC Committee however he is coming forward as a private citizen. He shared that although the development Mr. Hinckley spoke appears that it will be a good development there is currently not enough information known about it to include it within the Comprehensive Plan.

Chairman Lyons opened up the public hearing and asked if anyone wished to speak to come forward and do so; there being no one indicating such Chairman Lyons closed the public hearing and brought the item back to the Commission for discussion or a motion.

Commissioner Logan made a motion to approve Z2018-047. Commissioner Womble seconded the motion which passed by a vote of 6-0 with Commissioner Chodun absent.

V. ACTION ITEMS

9. SP2018-030

Discuss and consider a request by John David of Express Oil Change, LLC for the approval of a site plan for a *Minor Auto Repair Garage (i.e. Brakes Plus)* on a 0.656-acre tract of land being identified as Lots 1 & 2, Block A, Billy Peoples #1 Addition, City of Rockwall, Rockwall County, Texas, zoned General

310 Retail (GR) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1902 &
311 2000 S. Goliad Street [SH-205], and take any action necessary.

312
313 **Senior Planner, Korey Brooks, gave a brief explanation and background of the request. The**
314 **applicant is requesting approval of a site plan for a minor auto repair garage, Brakes Plus, on the**
315 **subject property. The proposed minor auto repair garage will be approximately 4,924 square**
316 **feet. The proposed minor auto repair garage is permitted in a General Retail District with a**
317 **Specific Use Permit. On October 13, 2018, the City Council approved a Specific Use Permit to**
318 **allow a minor auto repair garage in a General Retail District. The proposed garage will have eight**
319 **bays that will face west away from S. Goliad Street and will be screened with landscaping. The**
320 **proposed Brakes Plus will be accessible via a drive aisle on Yellow Jacket Road, a drive aisle on**
321 **S. Goliad Street, and will also have cross-access with the adjacent shopping center. Currently,**
322 **the subject property has one large drive approach on Yellow Jacket Lane and two drive**
323 **approaches on S. Goliad Street. The applicant is proposing to narrow the drive approach on**
324 **Yellow Jacket Lane and eliminate one of the drive approaches on S. Goliad Street. The submitted**
325 **site plan, landscape plan, photometric plan, and building elevations conform to the technical**
326 **requirements contained within the Unified Development Code's development standards with the**
327 **exception of variances being requested. The applicant is requesting variances to the pitched**
328 **roof requirement, the horizontal and vertical articulation. These variances require a ¾ majority**
329 **vote of the City Council members present to be passed. The Architectural Review after meeting**
330 **did recommend approval of the building elevations as submitted.**

331
332 **Mr. Brooks advised the Commission that the applicant was present and available for questions**
333 **as well as staff.**

334
335 **Chairman Lyons asked the applicant to come forward.**

336
337 **Mathias Albert**
338 **6017 Main Street**
339 **Frisco, TX**

340
341 **Mr. Albert came forward and shared that concerning the horizontal articulation due to site**
342 **constraints they cannot bump out the additional five feet. It also has an associated safety**
343 **concern, and that is the reason a variance is being requested on it. Large vans and trucks would**
344 **have difficulty turning and exiting the eight bay doors if the variance should not granted.**
345 **Regarding the vertical articulation variance request, Mr. Albert explained that it is being**
346 **requested for aesthetic reasons. He indicated he was available for questions the Commission**
347 **may have.**

348
349 **Chairman Lyons brought the item back to the Commission for discussion or action.**

350
351 **Commissioner Welch asked concerning ARB's recommendation with regards to the windows.**
352 **Mr. Brooks explained that the Architectural Review Board recommended approval of the**
353 **variances pending some pho windows be provided and the applicant indicated they would be**
354 **providing those.**

355
356 **Commissioner Moeller made a motion to approve SP2018-030 with staff and Architectural**
357 **Review Board's recommendations. Commissioner Fishman seconded the motion which passed**
358 **by a vote of 6-0 with Commissioner Chodun absent.**

359
360
361 **10. SP2018-032**
362 **Discuss and consider a request by William Salee of the Rockwall Independent School District (RISD) for**
363 **the approval of a site plan for an Elementary School on a 17.2922-acre tract of land being identified as**
364 **Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract**
365 **No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single**
366 **family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any**
367 **action necessary.**

368
369 **Planning Manager, David Gonzales, gave a brief explanation and background pertaining to the**
370 **case. The applicant is requesting approval of a site plan for the purpose of constructing a single-**
371 **story, 91,983 square feet public elementary school. The proposed elementary school will be**

372 located on a 16.332-acre tract of land that is west of and adjacent to Williams Middle School. The
373 proposed elementary school will have 39 classrooms and accommodate approximately 900
374 students. Parking for the facility is calculated at one space per twenty-five students, requiring a
375 minimum of 36 parking spaces. The site will incorporate a total of 161 parking spaces and be in
376 compliance to the requirements of the Unified Development Code. The site has been designed
377 with the intent of alleviating traffic congestion during drop-off and pick-up times. This will be
378 accomplished by circulating traffic using one-way entrance/exits along Greenway Drive and
379 Mountcastle Drive, and extending the stacking lanes for the two student drop-off areas. The
380 drop-off areas will be located on the east side facing Greenway Drive and along the west side
381 facing Williams Middle School. Bus drop-off and exiting areas will be accessed via Mountcastle
382 Drive, which is located facing south towards the residential neighborhood. The primary
383 entrance to the elementary school will face Greenway Drive. As a note, the applicant intends to
384 provide an eight foot sidewalk connecting to the existing trail system located in The Park at
385 Stone Creek.

386
387 Mr. Gonzales further noted that the submitted site plan, building elevations, landscape plan, and
388 photometric plan are in substantial compliance and conform to the technical requirements
389 contained within the Unified Development Code and Planned Development District 70, with the
390 exclusion of not meeting the minimum stone requirement and horizontal articulation
391 requirements. Requests for the variances as outlined above are considered discretionary
392 decisions for the City Council.

393
394 Mr. Gonzales advised the Commission that the applicant was present and available for questions
395 as well as staff.

396
397 Chairman Lyons asked the applicant to come forward and speak.

398
399 William Salee
400 RISD
401 1050 Williams Street
402 Rockwall, TX
403

404 Mr. Salee came forward and shared the request is a continuation of a bond program that is
405 addressing the growth within the District. The school will be similar in design to Hays
406 Elementary School and Shannon Elementary School that have been built within the City as well
407 as this type prototype being built in the Cities of Heath and Fate. He further shared that although
408 it does not have stone the building will have a lot of brick detailing and brick work. Mr. Salee
409 indicated he was available for questions the Commission may have.

410
411 Chairman Lyons brought the item back to the Commission for discussion or a motion.

412
413 Commissioner Womble made a motion to approve SP2018-032 with staff recommendations.
414 Commissioner Fishman seconded the motion which passed by a vote of 6-0 with Commissioner
415 Chodun absent.

416
417
418 VI. DISCUSSION ITEMS

419
420 11. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- 421
422 ✓ P2018-031: Lot 2, Block A, First Christian Church Disciples [Approved]
423 ✓ P2018-034: Lot 1, Block A, Rustic Warehouse & Town Center Addition and Lot 9, Block 1, First United
424 Methodist Church Addition [Approved]
425 ✓ P2018-036: Lot 8, Block A, Lakeshore Commons Addition [Approved]
426 ✓ Z2018-032: Zoning Change LI to PD (1st Reading) [Approved]
427 ✓ Z2018-042: Text Amendment to Various Sections of the UDC (1st Reading) [Approved]
428 ✓ SP2018-029: Variance to the Cementitious Material Requirements for Springhill Suites Hotel [Denied]
429 ✓ SP2018-033: Variance to the Cementitious Material and Parking Requirements for Hyatt House Hotel
430 [Approved]
431

432 Planning Manager, David Gonzales, provided a brief update about the outcome of the above
433 referenced case at the City Council meeting.

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VII. ADJOURNMENT

Chairman Lyons adjourned the meeting at 7:36 p.m.

VIII. TRAINING SESSIONS

12. A work session will be held in the City Council meeting room immediately following the adjournment of the November 13, 2018 Planning and Zoning Commission Work Session meeting to discuss:

- ✓ GIS Day and GIS related tools.
- ✓ Policies for Traffic Impact Analysis (TIA) and Infrastructure Studies.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL,
Texas, this _____ day of _____, 2018.

Johnny Lyons, Chairman

Attest:

Laura Morales, Planning Coordinator

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/02/2019

APPLICANT: Dub Douphrate of *Douphrate and Associates*

AGENDA ITEM: **P2018-044; Lot 1, Block A, Hacienda Car Wash Addition**

SUMMARY:

Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Russell Frank for the approval of a final plat for Lot 1, Block A, Hacienda Car Wash Addition being a 2.008-acre tract of land identified as portions of Lots 1 & 2, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

PLAT INFORMATION:

- The objective of this request is to final plat Lot 1, Block A, Hacienda Carwash Addition for the purpose of constructing an approximate 4,396 SF carwash [*i.e. Hacienda Carwash*], and to add the necessary fire lane, public access, and utility easements for the development of this site. The subject property is a 2.008-acre tract identified as portions of Lots 1 & 2, Block A, the Woods at Rockwall Addition. The site is addressed as 2215 Ridge Road [FM-740], situated within the Scenic Overlay (SOV) District, and zoned Commercial (C) District.
- There are two (2) 20-foot drainage easements located off-site and adjacent to the property north of this site [*i.e. Lots 1 & 2, Block A, of the Woods at Rockwall Addition*]. These easements must be recorded and filed (*i.e. by plat*), with the filed instrument number indicated on this plat, for both easements prior to the filing of this plat and the release of a building permit for this site. This has been included as a condition of approval.
- A Specific Use Permit (*SUP No. S-162*) allowing the carwash within the *Scenic Overlay (SOV) District* was approved on February 6, 2017.
- A Site Plan [*i.e. SP2017-039*] for the carwash [*i.e. Hacienda Car Wash*] was approved on December 18, 2017. The Planning and Zoning Commission approved a treescape plan showing a mitigation balance of 1,196 inches. This is required to be satisfied at the time the final plat is submitted for filing.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for final plats as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission and City Council choose to approve the final plat for *Lot 1, Block A, Hacienda Carwash Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) The required off-site easements [*i.e. 20-foot drainage easements*], located on the adjacent lot, must be recorded and filed prior to the filing of this plat and the release of a building permit for this site.
- 3) A tree mitigation balance of 1,196 caliper inches must be satisfied at the time the final plat is submitted for filing.
- 4) Any construction resulting from the approval of this *final plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2018-044	Owner Russell, Frank	Applied 12/5/2018 DMA
Project Name Lot 1, Block A, Hacienda Car Wash	Applicant DOUPHRATE & ASSOCIATES	Approved
Type Addition		Closed
Subtype FINAL		Expired
Status STAFF REVIEW		Status 12/18/2018 DG

Site Address 2215 RIDGE RD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision THE WOODS AT ROCKWALL	Tract 1	Block A	Lot No 1	Parcel No 5172-000A-0001-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/5/2018	12/12/2018	12/18/2018	13	APPROVED	
ENGINEERING (12/27/2018 11:22 AM SH) - The instrument numbers will be needed before filing. - The bearing and distance information is needed for the drainage easement on the north west side of the property. (See markup) - Drainage calculations are still under review. The easements may change.	Sarah Hager	12/5/2018	12/12/2018	12/27/2018	22	COMMENTS	
FIRE	Ariana Hargrove	12/5/2018	12/12/2018	12/19/2018	14	APPROVED	
GIS (12/18/2018 4:12 PM LS) Address assignment will be: 2215 Ridge Rd, Rockwall, TX 75087	Lance Singleton	12/5/2018	12/12/2018	12/18/2018	13	APPROVED	See comment
PLANNING	David Gonzales	12/5/2018	12/12/2018	12/18/2018	13	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Russell Frank for the approval of a final plat for Lot 1, Block A, Hacienda Car Wash Addition being a 2.008-acre tract of land identified as portions of Lots 1 & 2, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.						

PLANNING COMMENTS - DAVID GONZALES - 12.18.2018

The following staff comments are to be addressed and resubmitted no later than Thursday, January 3, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent review by staff:

1. The final plat shall conform to all standards and requirements of SUP No. 162 (Ord. No. 17-09), the Unified Development Code (UDC), and the staff comments provided by the Planning, Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document.
2. Provide a label indicating "Case No. P2018-044" on the lower right corner on all pages of the revised final plat submittal.
3. Include a label on platted lot that identifies the name of the subdivision [i.e. Hacienda Carwash Addition] above 'Lot 1, Block A', etc...
4. There are two (2) off-site easements [i.e. 20-ft drainage easement] that are required to be recorded/filed and that filing information added to this plat prior to filing of the plat and the issuance of building permits. This may require the adjacent property to file their plat prior to this plat being filed.
5. Ghost-in easements from adjacent lot.
5. Page 2, change all 2018 year dates to '2019'.
6. The tree mitigation balance of 1,196 caliper inches is due at final plat.

**As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **

Staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

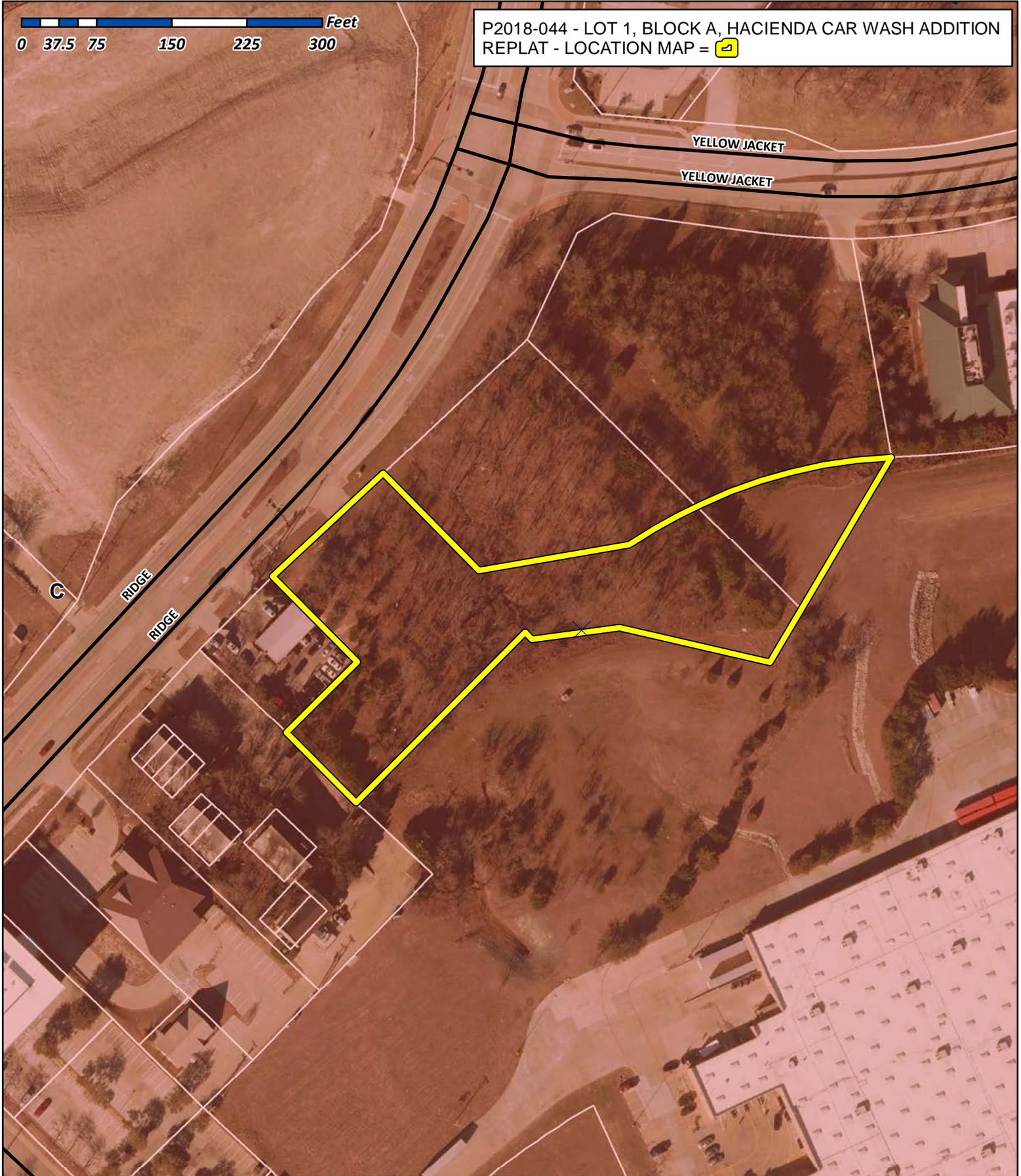
Scheduled Meeting Dates to Attend:

Planning - Consent Agenda: January 2, 2019 (6:00p.m.)

City Council - Consent Agenda: January 22, 2019 (Tuesday at 6:00 p.m.)

0 37.5 75 150 225 300 Feet

P2018-044 - LOT 1, BLOCK A, HACIENDA CAR WASH ADDITION
REPLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

I the undersigned owner of the land shown on this plat, and designated herein as HACIENDA CAR WASH ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. Drainage/Detention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

Frank Russell

Owner:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared Frank Russell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this ____ day of _____, 2018.

Notary Public in and for the State of Texas

My Commission Expires: _____

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Being a tract of land situated in the E.P. Gaines Survey, Abstract No. 64, and being a portion of Lot 1, Block A and Lot 2, Block A of The Woods At Rockwall Addition, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet E, Slide 343 of the Plat Records of Rockwall County, Texas, same being all of a tract of land to Frank Russell as recorded in Instrument Number 2017000002484 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found lying on the southeast line of F.M. 740 a variable width right-of-way at the northwest corner of said Woods At Rockwall Addition, same being the northwest corner of said Russell tract ;

THENCE North 45 degrees 47 minutes 27 seconds East along the southeast line of said F.M. 740 and the northwest line of said Lot 1, Block A, a distance of 166.98 feet to a 1/2 inch iron rod with cap stamped "TXHS" found for the northwest corner of a tract of land described by deed to Mountainprize, Inc. recorded in Instrument No. 2014000002284 of the Official Public Records of Rockwall County, Texas;

THENCE South 44 degrees 11 minutes 03 seconds East, along the westerly said Mountainprize tract, a distance of 128.95 feet to a 1/2 inch iron rod with cap stamped "TXHS" found at an angle point in same;

THENCE North 80 degrees 45 minutes 15 seconds East, along the southerly line of said Mountainprize tract, a distance of 137.61 feet to a 1/2 inch iron rod with cap stamped "TXHS" found for the beginning of a non-tangent curve to the right having a radius of 536.81 feet, a central angle of 30 degrees 19 minutes 15 seconds, and a chord which bears North 72 degrees 10 minutes 42 seconds East, 280.77 feet;

THENCE continuing along the southerly line of said Mountainprize tract and said non-tangent curve to the right, an arc distance of 284.08 feet to a 1/2 inch iron rod found for the beginning of a reverse curve to the left having a radius of 772.78 feet, a central angle of 00 degree 07 minutes 47 seconds, and a chord which bears North 87 degrees 16 minutes 31 seconds East, 1.75 feet;

THENCE along said reverse curve to the left, an arc distance of 1.75 feet to a 1/2 inch iron rod with cap stamped "TXHS" found for the northeast corner of said Russell tract, and the northwest corner of Wal-Mart Supercenter Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the Plat recorded in Cabinet E, Slide 333 of the Plat Records of Rockwall County, Texas;

THENCE South 29 degrees 20 minutes 09 seconds West, along the northwest line of said Wal-Mart Supercenter Addition, a distance of 237.93 feet to a 5/8 inch iron rod with cap stamped R.P.L.S. 5430 found for corner lying on the northerly line of same;

THENCE along the northerly line of said Wal-Mart Super Center Addition the following courses and distances:

North 78 degrees 10 minutes 56 seconds West, a distance of 154.03 feet to a 1/2 inch iron rod found for corner;

South 81 degrees 08 minutes 41 seconds West, a distance of 87.98 feet to a 1/2 inch iron rod found for corner;

North 46 degrees 24 minutes 06 seconds West, a distance of 9.80 feet to a 1/2 inch iron rod with cap stamped "TXHS" found for corner;

South 43 degrees 35 minutes 54 seconds West, a distance of 239.43 feet to a 3/8 inch iron rod found for the northwest corner of said Wal-Mart Supercenter Addition and the south corner of said Lot 1, Block A, also lying on the northeast line of Lot 1, Block A of Lakewood Park, an addition to the City of Rockwall according to the plat recorded in Cabinet B, Slide 10 of the Plat Records of Rockwall County, Texas;

THENCE North 45 degrees 58 minutes 49 seconds West along the common line of said Lot 1, Block A, Woods At Rockwall Addition and said Lot 1, Block A, Lakewood Park Addition, a distance of 98.44 feet to a 1/2 inch iron rod found for the south corner of a tract of land described by deed to Layan Investments, Inc., recorded in Volume 7086, Page 140 of the Official Public Records of Rockwall County, Texas;

THENCE North 43 degrees 44 minutes 13 seconds East along the southeast line of said Layan Investments tract, a distance of 99.83 feet to a 1/2 inch iron rod found for the east corner of same, also for an ell corner of said Lot 1, Block A, Woods At Rockwall Addition;

THENCE North 45 degrees 56 minutes 00 seconds West along the common line of said Lot 1, Block A, Woods At Rockwall Addition and said Layan Investments tract, a distance of 119.96 feet to the PLACE OF BEGINNING, and containing 87,469 square feet or 2,008 acres of land.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 2018

BRIAN J. MADDOX, R.P.L.S. NO. 5430

Planning & Zoning Commission, Chairman	Date
APPROVED:	
I hereby certify that the above and foregoing plat of as recorded to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the ____ day of _____, 2018.	
This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.	
Witness our hands this the ____ day of _____, 2018.	
_____ Mayor, City of Rockwall	_____ City Secretary
	_____ City Engineer

**FINAL PLAT
HACIENDA CAR WASH ADDITION
LOT 1, BLOCK A
87,469 SQUARE FEET
2,008 ACRES**

SITUATED IN THE E.P. GAINES SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BEING A PORTION OF LOT 1, BLOCK A AND LOT 2, BLOCK A OF THE WOODS AT ROCKWALL ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS ACCORDING TO THE PLAT RECORDED IN CABINET E, SLIDE 343 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS

OWNER
FRANK RUSSELL
15 Pringle Lane
Rockwall, Texas 75087

PROJECT INFORMATION
Project No. - DPH 18326
Date - November 30, 2018
Drawn By: GSG
Scale: 1"=60'
SHEET 2 of 2



SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnplnc.com

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 01/02/2019

APPLICANT: Jennifer Haynes of *Urban Structure*

AGENDA ITEM: **P2018-045**; *Lots 4 & 5, Block A, the Woods at Rockwall Addition*

SUMMARY:

Consider a request by Jennifer Haynes of Urban Structure on behalf of Andrew Malzer pf RaceTrac Petroleum, Inc. the approval of a replat for Lots 4 & 5, Block A, the Woods at Rockwall Addition being a 4.47-acre tract of land identified as Lots 1 & 2, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 & 2205 Ridge Road [*FM-740*], and take any action necessary.

PLAT INFORMATION:

- The objective of this request is to replat a 4.47-acre tract of land [*i.e. Lots 1 & 2, Block A, the Woods at Rockwall Addition*] to create Lots 4 & 5, Block A, the Woods at Rockwall Addition for the purpose of abandoning certain easements and establishing firelane, public access, and utility easements. Additionally, the replat will establish lot lines for two (2) developments consisting of a 5,411 SF convenience store with gasoline sales [*i.e. RaceTrac*] on Lot 4 and a 4,396 SF carwash facility [*i.e. Hacienda Carwash*] on Lot 5. The subject property is a 4.47-acre tract identified as Lots 1 & 2, Block A, of the Woods at Rockwall Addition. The site is addressed as 2205 & 2215 Ridge Road [*FM-740*], situated within the Scenic Overlay (SOV) District, and zoned Commercial (C) District.
- There are two (2) 20-foot drainage easements located on the proposed Lot 4 [*i.e. RaceTrac*] that are needed for the development of the proposed Lot 5 [*i.e. Hacienda Carwash*]. These easements are to be recorded by this plat prior to the development of Lot 5. A final plat application [*i.e. P2018-044*] for Lot 5 has been requested concurrently with this request. Approval of this plat with these two (2) drainage easements has been included as a condition of approval for the proposed Lot 5. Additionally, it shall be required that the replat of Lots 4 & 5, Block A, the Woods at Rockwall Addition be filed prior to the filing of the final plat being considered by Case No. P2018-044.
- A Specific Use Permit (*SUP No. S-104*) allowing a convenience store with gasoline sales within the *Scenic Overlay (SOV) District* was approved on April 15, 2013.
- An amended Site Plan [*i.e. SP2018-019*] for a convenience store with gasoline sales [*i.e. RaceTrac*] was approved on September 25, 2018. In addition, the City Council approved an alternative tree mitigation settlement agreement in the amount of \$225,000 on May 6, 2013 that will be due at the time this plat is submitted for filing. This has been included as a condition of approval.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission and City Council choose to approve the *replat* for *Lots 4 & 5, Block A, of the Woods at Rockwall Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) A balance of \$225,000 for the tree mitigation settlement agreement approved by the City Council shall be due at the time the replat is submitted for filing.
- 3) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2018-045	Owner INC., MOUNTAINPRIZE	Applied 12/11/2018 DMA
Project Name Lots 4 & 5, Block A, the Woods at	Applicant URBAN STRUCTURE	Approved
Type Rockwall Addition		Closed
Subtype FINAL		Expired
Status Staff Review		Status

Site Address YELLOW JACKET LANE	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision THE WOODS AT ROCKWALL	Tract 2	Block A	Lot No 2	Parcel No 5172-000A-0002-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/11/2018	12/18/2018	12/18/2018	7	APPROVED	
ENGINEERING (12/27/2018 11:29 AM SH) - There are two more drainage easements that should be on the plat. (See markup) - Note 7 should state, "The property owner is responsible for maintenance, repair, and replacement of all detention and drainage easements."	Sarah Hager	12/11/2018	12/18/2018	12/27/2018	16	COMMENTS	
FIRE	Ariana Hargrove	12/11/2018	12/18/2018	12/19/2018	8	APPROVED	
GIS (12/18/2018 4:14 PM LS) Racetrak address assignment will be: 2205 Ridge Rd, Rockwall, TX 75087	Lance Singleton	12/11/2018	12/18/2018	12/18/2018	7	APPROVED	See comment
PLANNING	David Gonzales	12/11/2018	12/18/2018	12/18/2018	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by Jennifer Haynes of Urban Structure on behalf of Andrew Malzer of RaceTrac Petroleum, Inc. the approval of a replat for Lots 4 & 5, Block A, the Woods at Rockwall Addition being a 4.47-acre tract of land identified as Lots 1 & 2, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 & 2205 Ridge Road [FM-740], and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES - 12.18.2018</p> <p>The following staff comments are to be addressed and resubmitted no later than Thursday, January 3, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent review by staff:</p> <ol style="list-style-type: none"> 1. The final plat shall conform to all standards and requirements of SUP No. 104 (Ord. No. 13-09), the Unified Development Code (UDC), and the staff comments provided by the Planning, Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document. 2. Provide a label indicating "Case No. P2018-045" on the lower right corner on all pages of the revised replat submittal. 3. Change Lot No. of each lot on plat to indicate Lot 4, Block A (for RaceTrac) & Lot 5, Block A (for Hacienda Carwash) and remove the label "Replat" from the lot description. 4. Change Lot No. on Title Block to 'Lot 4 and Lot 5, Block A' and in Owners Certificate on page 2. 5. Identify/label the two (2) 20-ft drainage easements that are required for the adjacent lots drainage (i.e. Hacienda Carwash). 6. Ghost-in easements from adjacent lot. 7. Page 2, change all 2018 year dates to '2019'. 8. Use a heavier line to distinguish lot lines from other line drawings. 9. As a note, the tree mitigation for this site had been satisfied by an alternative tree mitigation settlement agreement approved by the City Council in the amount of \$225,000. This mitigation balance is due at final plat. <p>**As a note andonce the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmittedand approved(by staff) prior to plat submittal on mylar for filing purposes. **</p> <p>Staff recommends that a representative be present for the meetings as listed below. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Scheduled Meeting Dates to Attend:</p> <p>Planning - Consent Agenda: January 2, 2019 (6:00p.m.)</p> <p>City Council - Consent Agenda: January 22, 2019 (Tuesday at 6:00 p.m.)</p>						

0 37.5 75 150 225 300 Feet

P2018-045 - LOTS 3 & 4, THE WOODS AT ROCKWALL ADDITION
REPLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VARIABLE WIDTH DRAINAGE & DETENTION EASEMENT CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	11.41'	10.00'	65°21'38"	N78° 48' 15"E 10.80'
C2	38.19'	29.93'	73°06'10"	S48° 11' 11"E 35.65'
C3	11.00'	34.00'	18°32'11"	S2° 03' 17"W 10.95'
C4	3.23'	5.00'	36°57'21"	S29° 48' 03"W 3.17'
C5	22.55'	65.42'	19°45'16"	S58° 09' 22"W 22.44'
C6	22.33'	19.26'	66°26'04"	N76° 04' 52"W 21.10'
C7	13.02'	9.00'	82°52'40"	N2° 25' 37"W 11.91'

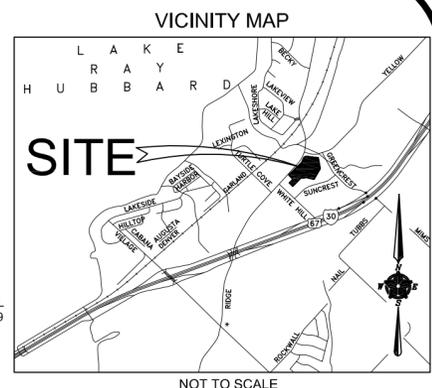
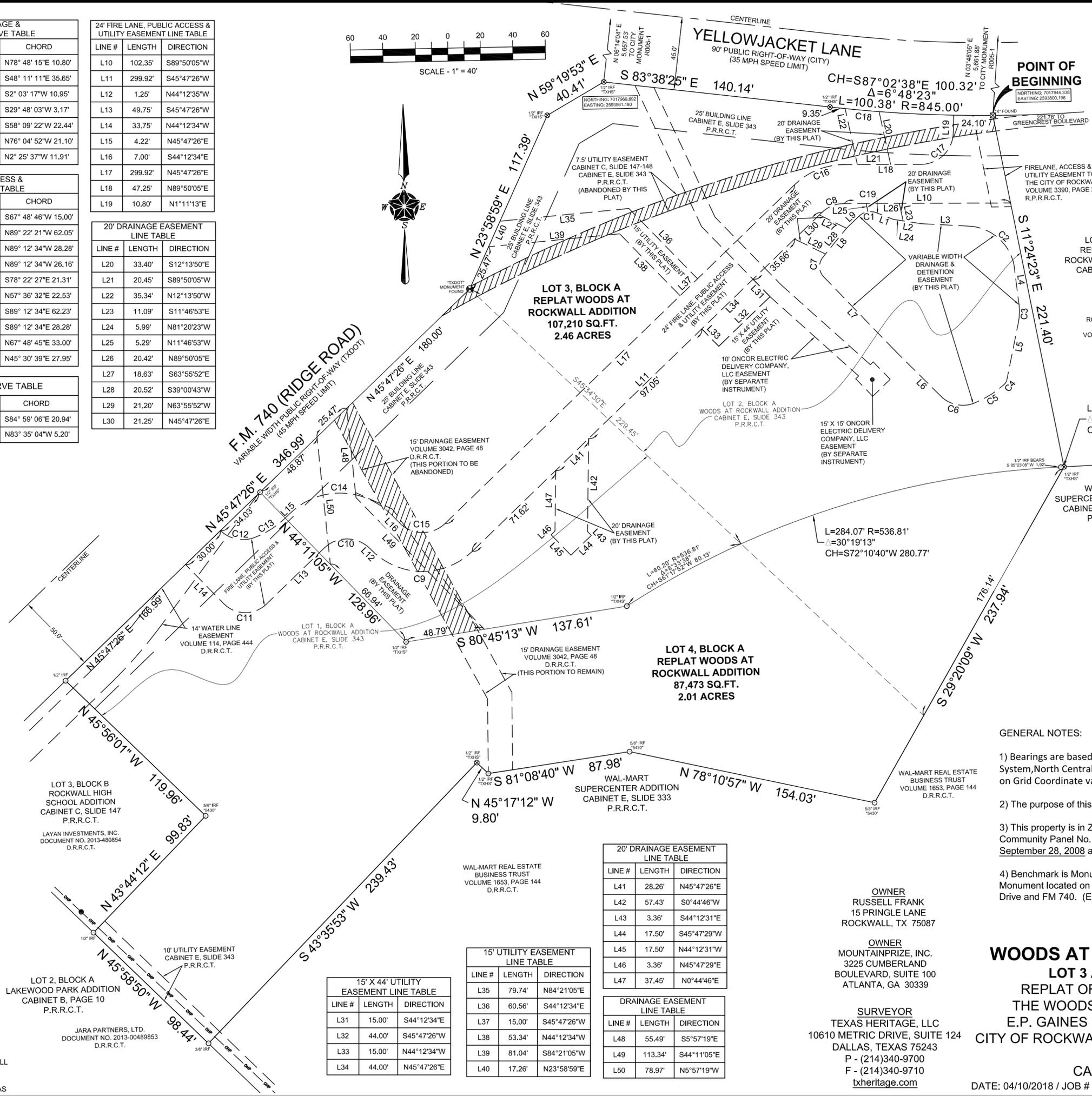
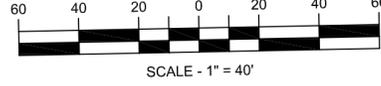
24' FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT CURVE TABLE		
LINE #	LENGTH	DIRECTION
L10	102.35'	S89°50'05"W
L11	299.92'	S45°47'26"W
L12	1.25'	N44°12'35"W
L13	49.75'	S45°47'26"W
L14	33.75'	N44°12'34"W
L15	4.22'	N45°47'26"E
L16	7.00'	S44°12'34"E
L17	299.92'	N45°47'26"E
L18	47.25'	N89°50'05"E
L19	10.80'	N1°11'13"E

24' FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C8	15.37'	20.00'	44°02'40"	S67° 48' 46"W 15.00'
C9	68.87'	44.00'	89°40'22"	N89° 22' 21"W 62.05'
C10	31.42'	20.00'	90°00'00"	N89° 12' 34"W 28.28'
C11	29.06'	18.50'	90°00'00"	N89° 12' 34"W 26.16'
C12	22.48'	20.00'	64°23'49"	S78° 22' 27"E 21.31'
C13	22.69'	55.00'	23°38'13"	N57° 36' 32"E 22.53'
C14	69.12'	44.00'	90°00'00"	S89° 12' 34"E 62.23'
C15	31.42'	20.00'	90°00'00"	S89° 12' 34"E 28.28'
C16	33.82'	44.00'	44°02'39"	N67° 48' 45"E 33.00'
C17	30.94'	20.00'	86°38'52"	N45° 30' 39"E 27.95'

20' DRAINAGE EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L20	33.40'	S12°13'50"E
L21	20.45'	S89°50'05"W
L22	35.34'	N12°13'50"W
L23	11.09'	S11°46'53"E
L24	5.99'	N81°20'23"W
L25	5.29'	N11°46'53"W
L26	20.42'	N89°50'05"E
L27	18.63'	S63°55'52"E
L28	20.52'	S39°00'43"W
L29	21.20'	N63°55'52"W
L30	21.25'	N45°47'26"E

20' DRAINAGE EASEMENT CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C18	20.94'	845.00'	1°25'12"	S84° 59' 06"E 20.94'
C19	5.26'	10.00'	30°08'16"	N83° 35' 04"W 5.20'

VARIABLE WIDTH DRAINAGE & DETENTION EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	11.30'	S68°30'56"E
L2	17.74'	S81°20'23"E
L3	30.12'	S87°05'02"E
L4	24.91'	S7°12'49"E
L5	36.21'	S11°19'23"W
L6	39.76'	N45°06'45"W
L7	62.74'	N43°51'53"W
L8	23.29'	N39°00'43"E
L9	10.68'	N46°07'26"E



LOT 3R, BLOCK B
REPLAT WOODS AT
ROCKWALL ADDITION NO. 1
CABINET E, SLIDE 389
P.R.R.C.T.

ROCKWALL ASC REAL
ESTATE, LLP
VOLUME 3076, PAGE 112
D.R.R.C.T.

L=1.75' R=772.78'
Δ=0°07'47"
CH=S87°16'29"W 1.75'

WAL-MART
SUPERCENTER ADDITION
CABINET E, SLIDE 333
P.R.R.C.T.

GENERAL NOTES:

- 1) Bearings are based upon the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, (2011) on Grid Coordinate values, No Scale and No Projection.
- 2) The purpose of this plat is to reconfigure 2 lots.
- 3) This property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 48397C0040 L, which bears an effective date of September 28, 2008 and IS NOT in a Special Flood Hazard Area.
- 4) Benchmark is Monument No - R005-1, City of Rockwall Geodetic Monument located on concrete median at the intersection of Summit Ridge Drive and FM 740. (Elevation - 578.6314')

**REPLAT
WOODS AT ROCKWALL ADDITION
LOT 3 AND LOT 4, BLOCK A
REPLAT OF LOTS 1 & 2, BLOCK A OF
THE WOODS AT ROCKWALL ADDITION,
E.P. GAINES SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PAGE 1 OF 2
CASE NO: P2017-019**

OWNER
RUSSELL FRANK
15 PRINGLE LANE
ROCKWALL, TX 75087

OWNER
MOUNTAINPRIZE, INC.
3225 CUMBERLAND
BOULEVARD, SUITE 100
ATLANTA, GA 30339

SURVEYOR
TEXAS HERITAGE, LLC
10610 METRIC DRIVE, SUITE 124
DALLAS, TEXAS 75243
P - (214)340-9700
F - (214)340-9710
txheritage.com

20' DRAINAGE EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L41	28.26'	N45°47'26"E
L42	57.43'	S0°44'46"W
L43	3.36'	S44°12'31"E
L44	17.50'	S45°47'29"W
L45	17.50'	N44°12'31"W
L46	3.36'	N45°47'29"E
L47	37.45'	N0°44'46"E

15' UTILITY EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L35	79.74'	N84°21'05"E
L36	60.56'	S44°12'34"E
L37	15.00'	S45°47'26"W
L38	53.34'	N44°12'34"W
L39	81.04'	S84°21'05"W
L40	17.26'	N23°58'59"E

15' X 44' UTILITY EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L31	15.00'	S44°12'34"E
L32	44.00'	S45°47'26"W
L33	15.00'	N44°12'34"W
L34	44.00'	N45°47'26"E

DRAINAGE EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L48	55.49'	S5°57'19"E
L49	113.34'	S44°11'05"E
L50	78.97'	N5°57'19"W

LEGEND

IRF
P.R.R.C.T.

IRON ROD FOUND
PLAT RECORDS, ROCKWALL
COUNTY, TEXAS
DEED RECORDS,
ROCKWALL COUNTY, TEXAS

JARA PARTNERS, LTD.
DOCUMENT NO. 2013-00489853
D.R.R.C.T.

OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL
CITY OF ROCKWALL

WHEREAS, Mountainprize, Inc. and Russell Frank are the sole owners of a tract of land situated in the E.P. Gaines Survey, Abstract No. 64 in the City of Rockwall, Rockwall County, Texas, being all of Lots 1 and 2, Block A of THE WOODS AT ROCKWALL ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet E, Slide 343, Plat Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

Beginning at an "X" found in the South right-of-way line of Yellowjacket Lane (90 foot public right-of-way), said point being the Northwest corner of Lot 3R, Block B of REPLAT WOODS AT ROCKWALL ADDITION NO. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 389 of the Plat Records of Rockwall County, Texas, same being the Northeast corner of said Lot 2, same being the Northeast corner of herein described tract;

Thence South 11 Degrees 24 Minutes 23 Seconds East, along the West line of said Lot 3R, a distance of 221.40 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS", said point being the Southwest corner of said Lot 3R, same being the Northwest corner of Wal-Mart Supercenter Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 333 of the Plat Records of Rockwall County, Texas;

Thence South 29 Degrees 20 Minutes 09 Seconds West, along the Northwest line of said Wal-Mart Supercenter Addition, passing the East corner of said Lot 1, same being the South corner of said Lot 2, at a distance of 176.14 feet and continuing for a total distance of 237.94 feet to a 5/8 inch iron rod found for corner with a cap stamped "5430", said point being the South corner of herein described tract;

Thence North 78 Degrees 10 Minutes 57 Seconds West, continuing along the North line of said Wal-Mart Supercenter Addition, a distance of 154.03 feet to a 5/8 inch iron rod found for corner with a cap stamped "5430";

Thence South 81 Degrees 08 Minutes 40 Seconds West, continuing along the North line of said Wal-Mart Supercenter Addition, a distance of 87.98 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence North 45 Degrees 17 Minutes 12 Seconds West, continuing along the North line of said Wal-Mart Supercenter Addition, a distance of 9.80 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence South 43 Degrees 35 Minutes 53 Seconds West, continuing along the North line of said Wal-Mart Supercenter Addition, a distance of 239.43 feet to a 3/8 inch iron rod found for corner in the Northeast line of Lot 2, Block A of Lakewood Park Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Page 10 of the Plat Records of Rockwall County, Texas, said point being the West corner of said Wal-Mart Supercenter Addition, same being the South corner of said Lot 1, same being the South corner of herein described tract;

Thence North 45 Degrees 58 Minutes 50 Seconds West, along the Northeast line of said Lakewood Park Addition, a distance of 98.44 feet to a 1/2 inch iron rod found for corner, said point being the South corner of Lot 3, Block B of Rockwall High School Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 147 of the Plat Records of Rockwall County, Texas, same being the most southerly West corner of said Lot 1 and being the most southerly West corner of herein described tract;

Thence North 43 Degrees 44 Minutes 12 Seconds East, along the Southeast line of said Lot 3, a distance of 99.83 feet to a 5/8 inch iron rod found for corner, said point being the East corner of said Lot 3, same being an interior ell corner of said Lot 1 and of herein described tract;

Thence North 45 Degrees 56 Minutes 01 Seconds West, along the Northeast line of said Lot 3, a distance of 119.96 feet to a 1/2 inch iron rod found for corner in the Southeast right-of-way line of F.M. 740 (Ridge Road) (variable width public right-of-way), said point being the North corner of said Lot 3, same being the most northerly West corner of said Lot 1 and being the most northerly West corner of herein described tract;

Thence North 45 Degrees 47 Minutes 26 Seconds East, along the Southeast right-of-way line of said F.M. 740, a distance of 346.99 feet to a TXDOT Monument found for corner, said point being the North corner of said Lot 1, same being the West corner of said Lot 2;

Thence North 23 Degrees 58 Minutes 59 Seconds East, continuing along the Southeast right-of-way line of said F.M. 740, a distance of 117.39 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS" at the intersection of the Southeast right-of-way line of said F.M. 740 and the South right-of-way line of said Yellowjacket Lane, said point being the Northwest corner of said Lot 2, and being the Northwest corner of herein described tract;

Thence North 59 Degrees 19 Minutes 53 Seconds East, along the South right-of-way line of said Yellowjacket Lane, a distance of 40.41 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence South 83 Degrees 38 Minutes 25 Seconds East, continuing along the South right-of-way line of said Yellowjacket Lane, a distance of 140.14 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS", said point being the beginning of a curve to the left;

Thence, continuing along the South right-of-way line of said Yellowjacket Lane, and along said curve to the left, through a central angle of 6°48'23", a radius of 845.00 feet, a chord bearing and distance of South 87°02'38" East, 100.32 feet and an arc length of 100.38 feet to the POINT OF BEGINNING and containing 194,683 square feet or 4.47 acres of land.

SURVEYORS CERTIFICATE:

THAT I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Gary E. Johnson, R.P.L.S. No. 5299



STATE OF TEXAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Gary E. Johnson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2018.

Notary Signature

My commission expires: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL
CITY OF ROCKWALL

That, Mountainprize, Inc. and Russell Frank, do hereby adopt this plat designating the hereinabove described property as REPLAT WOODS AT ROCKWALL ADDITION, LOT 3 AND LOT 4, BLOCK A, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown for the purposes and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the REPLAT WOODS AT ROCKWALL ADDITION, LOT 1R, BLOCK A, subdivision have been notified and signed this plat.

I understand and do hereby reserve the easements strips shown on this plat for the purposes stated and for the mutual use accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance, or efficiency of their respective system on any of these easement strips, and any public utility shall at all times have the right to ingress or egress to, from and upon the said easement strips for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, and either adding to or removing all or part of the respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bears total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;
7. The property owner is responsible for maintenance, repair, and replacement of all detention and drainage system.

Until an escrow deposit sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the developer and/or owner as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence or work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; Our successors and assigns hereby waive any claim, damage, or cause of action the We may have as a result of the dedication of exactions made herein.

Mountainprize, Inc.

Brian Thornton, Vice President of Real Estate and Engineering

Russell Frank

STATE OF TEXAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Brian Thornton, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

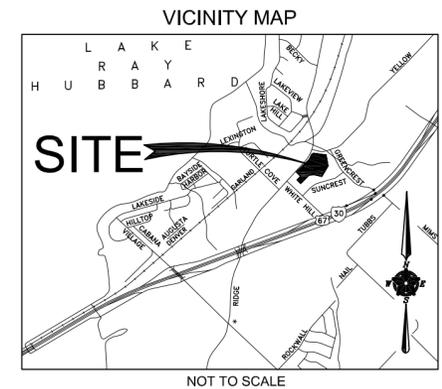
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2018.

Notary Signature

My commission expires: _____

LEGEND

- Ø IRF
P.R.R.C.T.
D.R.R.C.T.
IRON ROD FOUND
PLAT RECORDS, ROCKWALL COUNTY, TEXAS
DEED RECORDS, ROCKWALL COUNTY, TEXAS



STATE OF TEXAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Russell Frank, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2018.

Notary Signature

My commission expires: _____

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that that the foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on this the _____ day of _____, 2018.

WITNESS OUR HANDS, on this the _____ day of _____, 2018.

Mayor, City of Rockwall

City Secretary, City of Rockwall

Engineer, City of Rockwall

GENERAL NOTES:

1) Bearings are based upon the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, (2011) on Grid Coordinate values, No Scale and No Projection.

2) The purpose of this plat is to reconfigure 2 lots.

3) This property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 48397C0040 L, which bears an effective date of September 28, 2008 and IS NOT in a Special Flood Hazard Area.

4) Benchmark is Monument No - R005-1, City of Rockwall Geodetic Monument located on concrete median at the intersection of Summit Ridge Drive and FM 740. (Elevation - 578.6314')

REPLAT
WOODS AT ROCKWALL ADDITION
LOT 3 AND LOT 4, BLOCK A
REPLAT OF LOTS 1 & 2, BLOCK A OF
THE WOODS AT ROCKWALL ADDITION,
E.P. GAINES SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PAGE 2 OF 2
CASE NO: P2017-019
DATE: 04/10/2018 / JOB # 1202145-14 / SCALE= 1" = 40' / DRAWN BY: CN

OWNER
MOUNTAINPRIZE, INC.
3225 CUMBERLAND
BOULEVARD, SUITE 100
ATLANTA, GA 30339

SURVEYOR
TEXAS HERITAGE, LLC
10610 METRIC DRIVE, SUITE 124
DALLAS, TEXAS 75243
P - (214)340-9700
F - (214)340-9710
txheritage.com

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/02/2019

APPLICANT: David Ellis

AGENDA ITEM: **P2018-046**; *Lots 5, 6, & 7, Block A, Ellis Centre, Phase 2 Addition*

SUMMARY:

Consider a request by David Ellis for the approval of a replat for Lots 5, 6 & 7, Block A, Ellis Centre, Phase 2 Addition being a 2.62-acre tract of land identified as Lots 1 & 3, Block A, Ellis Centre, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1930 & 1950 Alpha Road, and take any action necessary.

PLAT INFORMATION:

- The objective of this request is to replat a 2.62-acre tract of land [*i.e. Lots 1 & 3, Block A, of the Ellis Centre, Phase 2 Addition*] to create Lots 5, 6, & 7, Block A, Ellis Centre, Phase 2 Addition. The purpose of the replat is to establish cross access easements that will provide access through the lots. Additionally, this will allow Lot 6 to be developed. The subject property is identified as Lots 1 & 3, Block A, Ellis Centre, Phase 2 Addition, is addressed as 1930 & 1950 Alpha Road, and zoned Light Industrial (LI) District.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lots 5, 6, & 7, Block A, Ellis Centre, Phase 2 Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number	P2018-046	Owner		Applied	12/14/2018	LM
Project Name	Lots 5, 6, & 7, Block A, Ellis Centre, Phase	Applicant	DAVID ELLIS	Approved		
Type	PLAT			Closed		
Subtype	REPLAT			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
	ROCKWALL, TX 75087	

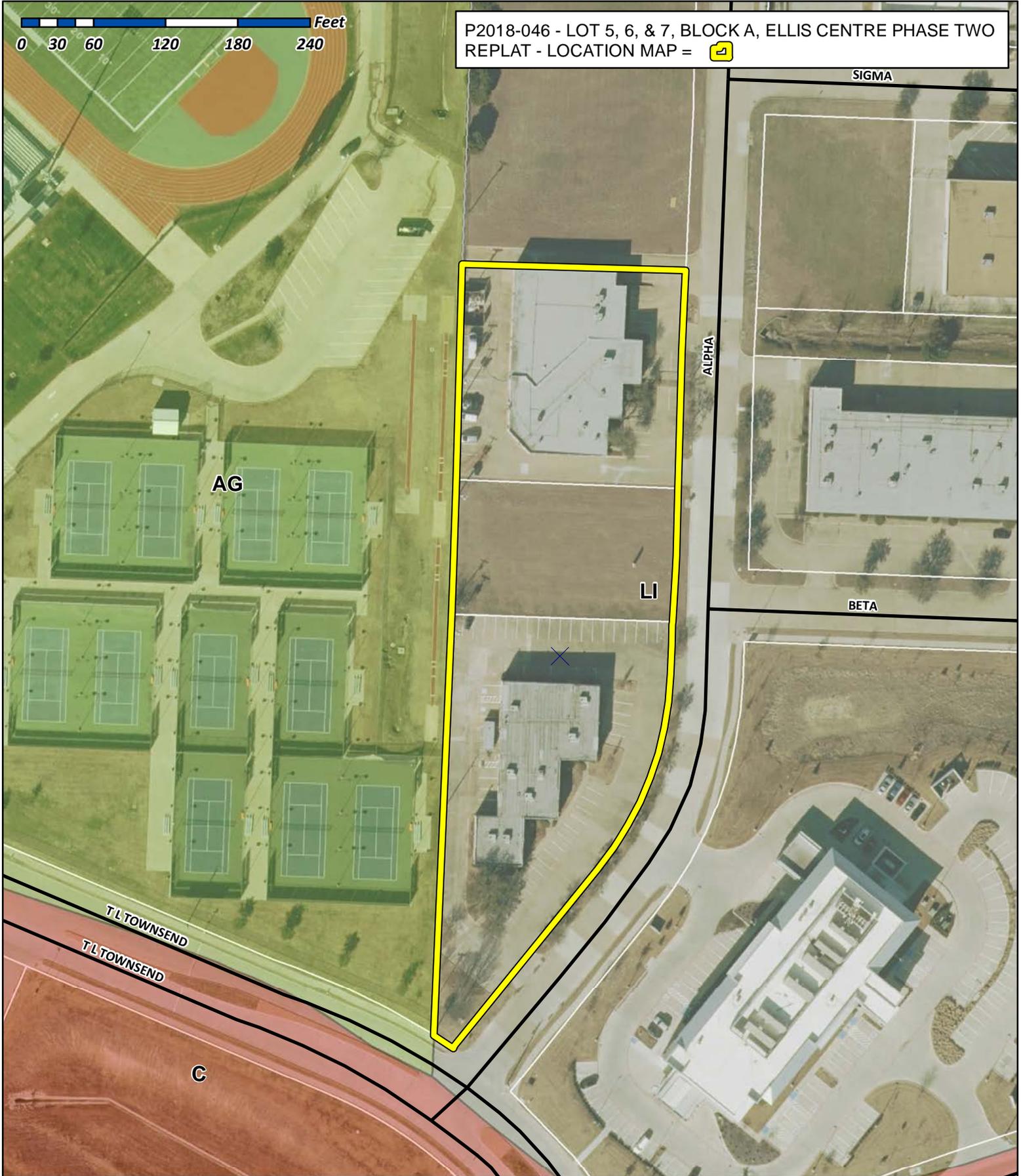
Subdivision	Tract	Block	Lot No	Parcel No	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/14/2018	12/21/2018	12/18/2018	4	APPROVED	
ENGINEERING (12/20/2018 2:39 PM SH) Note 4 should read, "Property owner to maintain, repair, and replace drainage and detention easements on site."	Sarah Hager	12/14/2018	12/21/2018	12/20/2018	6	COMMENTS	
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	APPROVED	
GIS	Lance Singleton	12/14/2018	12/21/2018	12/18/2018	4	APPROVED	
PLANNING	David Gonzales	12/14/2018	12/21/2018	12/19/2018	5	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by David Ellis for the approval of a replat for Lots 5, 6 & 7, Block A, Ellis Centre, Phase 2 Addition being a 2.62-acre tract of land identified as Lots 1 & 3, Block A, Ellis Centre, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1930 & 1950 Alpha Road, and take any action necessary.</p>						
<p>PLANNING COMMENTS - DAVID GONZALES - 12.18.2018</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Thursday, January 3 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent review by staff:</p>						
<ol style="list-style-type: none"> 1. The final plat shall conform to all standards and requirements of the Unified Development Code (UDC) and the staff comments provided by the Planning, Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document. 2. Provide a label indicating "Case No. P2018-046" on the lower right corner on all pages of the revised final plat submittal. 3. Ghost-in 'Old Lot Information' for the three (3) lots being platted. 4. Provide owner information for both of the lots fronting on and adjacent to Beta Court. 5. Verify and/or correct distance for call N 01.34.52 E on plat -- indicates 743.46-ft - the owners certificate on page 2 indicates a distance of 746.46-ft. 6. Change owner certificate information of paragraph two (2) to correspond to title block. 7. Correct Title Block to read as follows: 						
<p>Final Plat Lots 5, 6, & 7, Block A Ellis Centre, Phase Two Lots 5, 6, & 7, Block A Being a Replat of Lots 1 & 3, Block A Ellis Centre, Phase Two ...County of Rockwall, Texas.</p>						
<ol style="list-style-type: none"> 8. Future development of the site will require a replat (i.e. Lot 6) 						
<p>**As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes. **</p>						
<p>Although this plat is on the Consent Agenda, staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
<p>Scheduled Meeting Dates to Attend:</p>						
<p>Planning - Consent Agenda: January 2, 2019 (6:00p.m.)</p>						
<p>City Council - Consent Agenda: January 22, 2019 (Tuesday at 6:00 p.m.)</p>						



P2018-046 - LOT 5, 6, & 7, BLOCK A, ELLIS CENTRE PHASE TWO
REPLAT - LOCATION MAP =



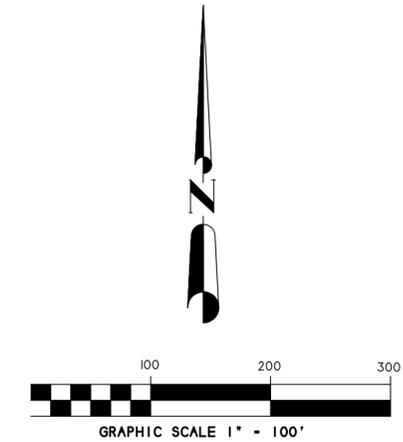
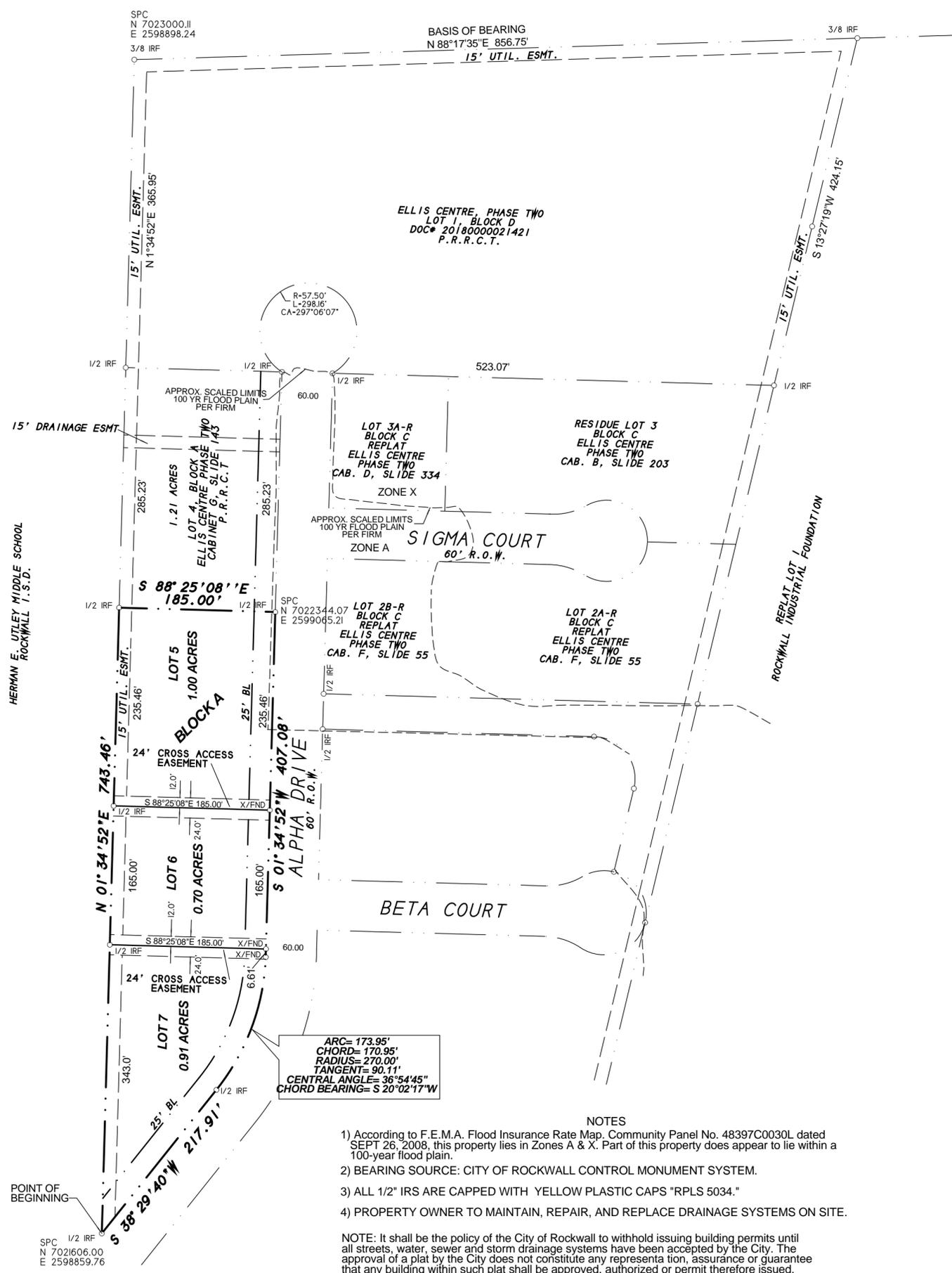
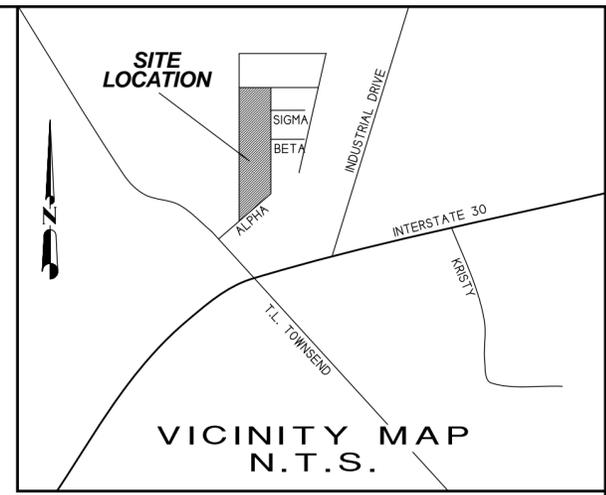
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SMARTT, LOFLAND & BOND PARTNERS
71.02 ACRES



FINAL PLAT
ELLIS CENTRE, PHASE TWO
LOT 5, 6 & 7, BLOCK A

BEING A REPLAT OF LOT 3, BLOCK A
OF LOTS 3 & 4, BLOCK A
ELLIS CENTRE
AND PART OF LOT 1, BLOCK A
ELLIS CENTRE, PHASE ONE & TWO

3 LOTS
2.62 ACRES OR 113,912 S.F.
A. HANNA SURVEY, A-99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
THE FIVE NINE SEVEN
LIMITED PARTNERSHIP
14465 WEBB CHAPEL ROAD
SUITE 119
FARMERS BRANCH, TEXAS 75234

OWNER:
BASK INVESTMENTS, LLC
1930 ALPHA DRIVE
SUITE 300
ROCKWALL, TEXAS 75087

OWNER:
David M. Ellis, Charles M. Ellis,
Jody M. Ellis and Richard M. Ellis III.
16361 LAWDER LANE
DALLAS, TEXAS 75248

SHEET 1 OF 2

SYMBOL LEGEND	
TV	TELEVISION
⊕	GAS METER
⊕	PHONE METER
⊕	PHONE HYDRANT
⊕	POWER POLE
⊕	ELECTRIC METER
⊕	ELECTRIC BOX
⊕	SUBSURFACE METER
⊕	JUNCTION BOX
⊕	1/2" IRF
⊕	3/8" IRF
⊕	1/2" IRF
⊕	3/4" IRF
⊕	1" IRF
⊕	1 1/2" IRF
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⊕	270" IRF
⊕	300" IRF
⊕	360" IRF
⊕	420" IRF
⊕	480" IRF
⊕	540" IRF
⊕	600" IRF
⊕	720" IRF
⊕	840" IRF
⊕	960" IRF
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⊕	1680" IRF
⊕	1920" IRF
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⊕	3000" IRF
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⊕	12000000000000000000" IRF
⊕	1440

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS David M. Ellis, Charles M. Ellis, Jody M. Ellis and Richard M. Ellis III, The Five Nine Seven LP, and Bask Investments BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a part of Lot 1, Block A, of ELLIS CENTRE, PHASE ONE & TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Slide 391, of the Plat Records of Rockwall County, Texas, and also being all of Lot 3, Block A of ELLIS CENTRE, PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Slide 143, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the Northwest right-of-way line of Alpha Drive, at the southwest corner of said Lot 1, Block A;

THENCE N. 01 deg. 34 min. 52 sec. E. along the west line of said Lot 1, Block A, a distance of 746.46 feet to a 1/2" iron rod found for corner at the northwest corner of said Lot 3, Block A;

THENCE S. 88 deg. 25 min. 08 sec. E. along the north line of Lots 3 & 4, Block A, a distance of 185.00 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 4, Block A and at the northeast corner of Lot 3, Block A and in the west right-of-way line of Alpha Drive;

THENCE S. 01 deg. 34 min. 52 sec. W. along said right-of-way line, a distance of 407.08 feet to an "X" found for corner;

THENCE in a southwesterly direction along a curve to the right having a central angle of 36°54'45", a radius of 270.00 feet, a tangent of 90.11 feet, a chord of S 20°02'17"W, 170.95 feet along said right-of-way line, an arc distance of 173.95 feet to a 1/2" iron rod found for corner;

THENCE S. 38 deg. 29 min. 40 sec. W. along said right-of-way line, a distance of 217.91 feet to the POINT OF BEGINNING and containing 113,912 square feet or 2.62 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as ELLIS CENTRE, PHASE TWO, LOTS 5, 6 & 7, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the ELLIS CENTRE, PHASE TWO, LOTS 5, 6 & 7, BLOCK A, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

David M. Ellis _____ Charles M. Ellis _____
Jody M. Ellis _____ Richard M. Ellis III _____
for The Five Nine Seven LP _____ for Bask Investments, LLC _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared David M. Ellis known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared Charles M. Ellis, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared Jody M. Ellis known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared Richard M. Ellis III known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of ELLIS CENTRE, PHASE THREE, LOTS 1, 2 & 3, BLOCK E, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ City Secretary City of Rockwall _____

City Engineer _____ Date _____

FINAL PLAT
ELLIS CENTRE, PHASE TWO
LOT 5, 6 & 7, BLOCK A

BEING A REPLAT OF LOT 3, BLOCK A
OF LOTS 3 & 4, BLOCK A
ELLIS CENTRE
AND PART OF LOT 1, BLOCK A
ELLIS CENTRE, PHASE ONE & TWO

3 LOTS
2.62 ACRES OR 113,912 S.F.
A. HANNA SURVEY, A-99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:
THE FIVE NINE SEVEN
LIMITED PARTNERSHIP
14465 WEBB CHAPEL ROAD
SUITE 119
FARMERS BRANCH, TEXAS 75234

OWNER:
BASK INVESTMENTS, LLC
1930 ALPHA DRIVE
SUITE 300
ROCKWALL, TEXAS 75087

OWNER:
David M. Ellis, Charles M. Ellis,
Jody M. Ellis and Richard M. Ellis III.
16361 LAWDER LANE
DALLAS, TEXAS 75248

SHEET 2 OF 2

SYMBOL LEGEND	
TV TELEVISION CABLE RISER	PP POWER POLE
GAZ GAS METER	PH PHONE HYDRANT
ELEC ELECTRIC METER	LP LIGHT POLE
ELEC ELECTRIC METER	RF-ROD FOUND IN CORNER
BOX SUBURFACE JUNCTION BOX	IR-IRON ROD FOUND IN CORNER
--- EASEMENT LINE	ARC AIR COOL UNIT
--- FENCE	PROP PROPANE TANK

SURVEY DATE _____ DECEMBER 14, 2018
SCALE 1" = 100' FILE # 20130105-3RP
CLIENT ELLIS

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

City of Rockwall Project Plan Review History



Project Number Z2018-055	Owner 7.1 Rigde, LLC, Micheal Swiercinsky	Applied 12/12/2018 DMA
Project Name SUP for Mini Warehouse	Applicant MAXWELL J FISHER, AICP / KYLE JENKINS	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status Staff Review		Status

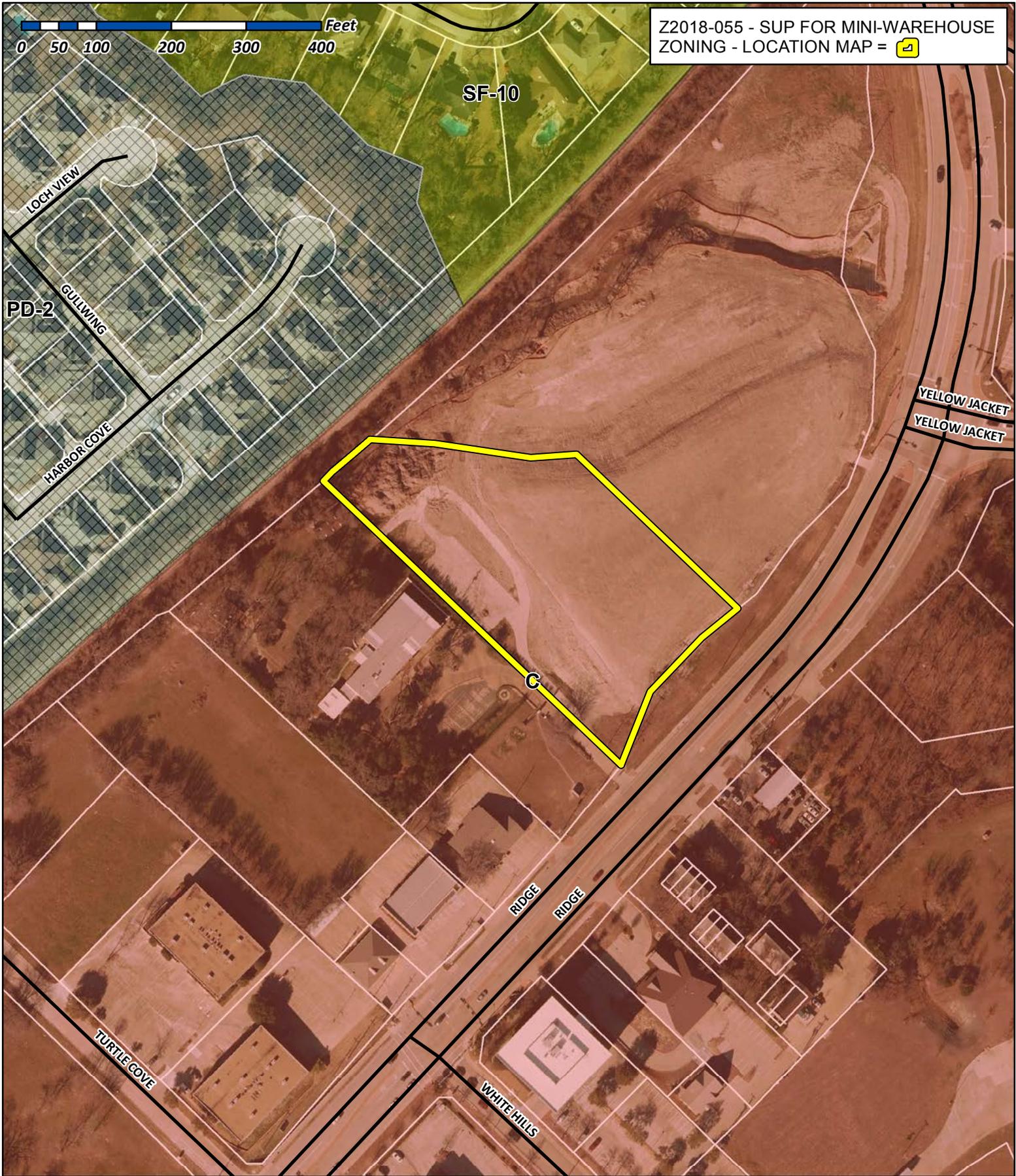
Site Address FM740 & Yellow Jacket	City, State Zip ROCKWALL, TX 75087	Zoning
--	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	19	NULL	19	0064-0000-0019-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/12/2018	12/19/2018	12/18/2018	6	APPROVED	
ENGINEERING	Sarah Hager	12/12/2018	12/19/2018	12/20/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(12/20/2018 3:24 PM SH) <ul style="list-style-type: none"> - Dumpster to drain to an oil/water separator. - There are no existing manholes in the sewer easement shown. Any proposed manholes in the floodplain must be 2' above the floodplain elevation and must be sealed. - Will there be a domestic water meter for the project. - Driveway spacing is minimum 360'. Label the spacing shown. - There is not an existing driveway so a TxDOT permit and Traffic Impact Analysis are required. - Extending the wall onto the neighboring property will require approval from the property owner. - No grate inlets allowed. Inlets in paving must be curb inlets or Y-inlets. - Engineer must size the culvert under the driveway and the headwalls must be outside of the curb return. - Label the existing sewer easement width and the instrument number for the easement. - Curve radius for the driveway must be 30' Radius for the fire trucks. <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees. - Impact fees - Fire Lane to be 24' min, 20' curve radii. - Parking is 20'x9' min. - Min 20' utility easements. - No structures or walls in easements. - No trees within 5' of public utilities. - Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls. - Finish pad elevation must be 2' above floodplain elevation. - Paving must be 1' above floodplain elevation. - Max Slope is 4:1 (25%) - Lot must be replatted. - TxDOT driveway permit and Traffic Impact Analysis required. - \$10/LF sidewalk pro-rata due along FM 740. - Must meet all City Engineering Standards. 	Ariana Hargrove	12/12/2018	12/19/2018	12/19/2018	7	APPROVED	
PLANNING	Korey Brooks	12/12/2018	12/19/2018	12/27/2018	15	COMMENTS	Comments

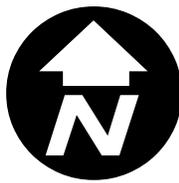
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2018-055 SUP FOR MINI_WAREHOUSE						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This a request by Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky of 7.1 Ridge, LLC for the approval of a Specific Use Permit (SUP) for a Mini-Warehouse facility on a 2.595-acre tract of land being a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located southwest of the intersection of W. Yellow Jacket Lane and Ridge Road [FM-740]						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2018-055) in the lower right hand corner of all pages on future submittals.						
M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting.						
I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 20019. The Planning and Zoning Meeting for this case is January 15, 2019 2018.						
I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

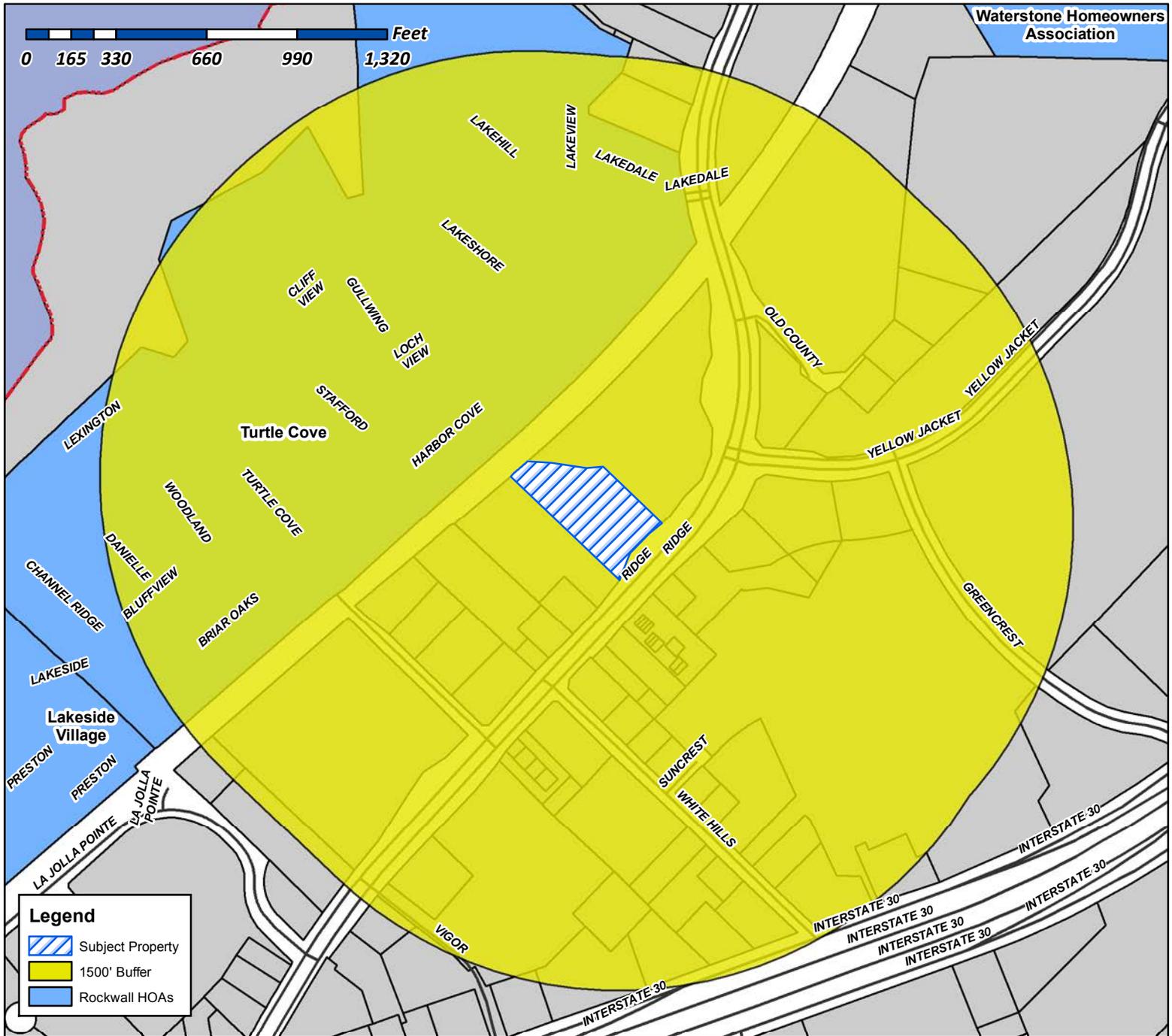
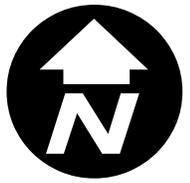




City of Rockwall

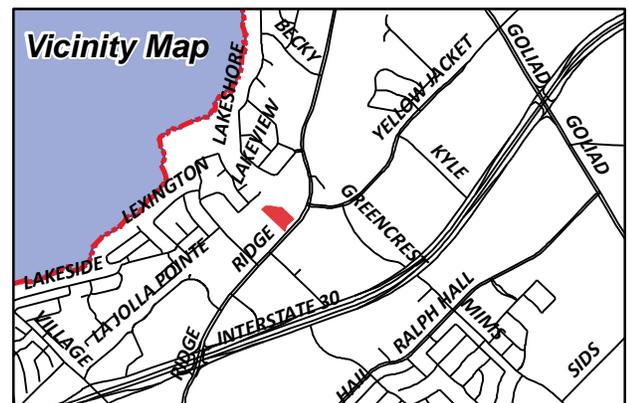
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2018-055
Case Name: SUP for a Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SWC of the Intersection of Ridge Road and Yellow Jacket Lane

Date Created: 12/17/2018
 For Questions on this Case Call (972) 771-7745

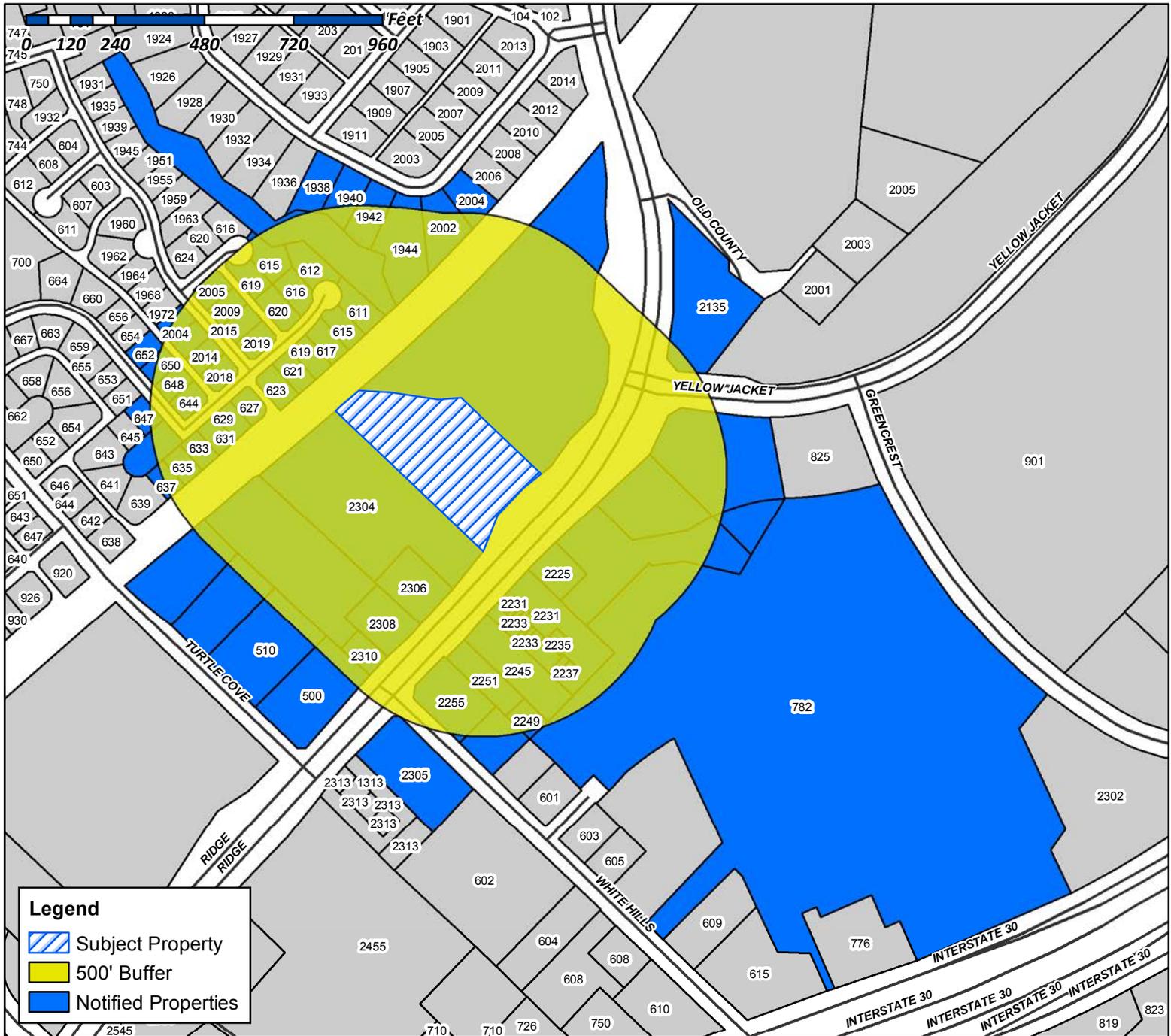




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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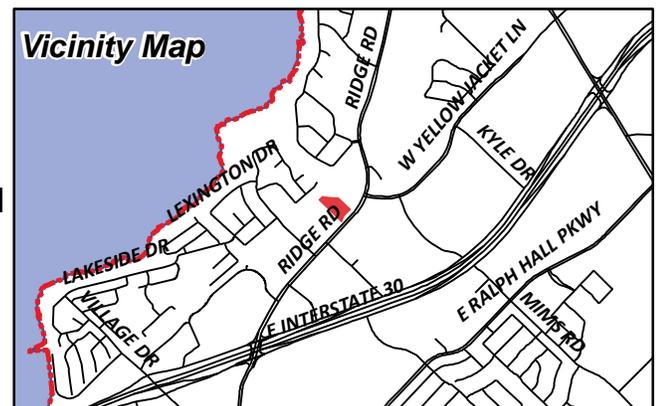
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Case Number: Z2018-055
Case Name: SUP for a Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SWC of the Intersection of Ridge Road and Yellow Jacket Lane

Date Created: 12/12/2018

For Questions on this Case Call (972) 771-7745



7.1 RIDGE LLC
106 E RUSK SUITE 200
ROCKWALL, TX 75087

ONE RIDGE PLACE LP
1121 E SPRING CREEK PKWY STE 110-312
PLANO, TX 75074

VANDERSLICE ROBERT
1408 S LAKESHORE DR
ROCKWALL, TX 75087

JARA PARTNERS LTD
1425 HUNTERS GLEN
ROYSE CITY, TX 75189

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1710 WEISKOPF DR
ROCKWALL, TX 75032

CURRENT RESIDENT
1721 FAIR OAKS LN
ROYSE CITY, TX 75189

WHITE JUDY GAIL
1807 BAYHILL DR
ROCKWALL, TX 75087

STORMS STEWART M
1938 S LAKESHORE DR
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E
1940 S LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1942 LAKESHORE DR
ROCKWALL, TX 75032

PORTELE MICHAEL & PAIGE
1944 LAKESHORE DRIVE
ROCKWALL, TX 75087

BENTO SERGIO
2002 S LAKESHORE DR
ROCKWALL, TX 75087

CHAPMAN BOBBY E II
2004 GULLWING DR
ROCKWALL, TX 75087

CROSS STEVEN C
2004 S LAKESHORE DR
ROCKWALL, TX 75087

BOWLES MARK S II AND
2005 GULLWING DR
ROCKWALL, TX 75087

GIESE DIANE LYNN DOOLIN
2008 GULLWING DR
ROCKWALL, TX 75087

HAYNES NANCY W
2009 GULLWING DR
ROCKWALL, TX 75087

WILLIAMSON KEEGAN DANIEL AND TERRY KING
2014 GULLWING DR
ROCKWALL, TX 75087

LOTT CHERYL R
2015 GULLWING DR
ROCKWALL, TX 75087

HINKLE RONALD E AND DEBRA D
2018 GULLWING DRIVE
ROCKWALL, TX 75087

TANKERSLEY VICKI A
2019 GULLWING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2231 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2233 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2235 RIDGE RD STE 200
ROCKWALL, TX 75087

CURRENT RESIDENT
2237 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2245 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2249 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2251 RIDGE RD
ROCKWALL, TX 75032

MMF INVESTMENTS LLC
2255 RIDGE RD SUITE 333
ROCKWALL, TX 75087

CURRENT RESIDENT
2304 RIDGE RD
ROCKWALL, TX 75032

HUDSPETH WARD
2304 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2305 RIDGE RD
ROCKWALL, TX 75032

MCKENNEY CARL K
2306 RIDGE RD STE 2
ROCKWALL, TX 75087

CURRENT RESIDENT
2308 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2310 RIDGE RD
ROCKWALL, TX 75032

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

CHACKO & ABRAHAM INVESTMENTS LLC
4102 NORWICH DRIVE
GARLAND, TX 75043

CURRENT RESIDENT
500 TURTLE COVE BLVD
ROCKWALL, TX 75032

CURRENT RESIDENT
510 TURTLE COVE BLVD
ROCKWALL, TX 75032

PSB INDEMNITY FAMILY LTD PTRN
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

IN KYUNG H &
512 SUNSTONE DR
IRVING, TX 75060

GUERRIERO LISA HUDSPETH
537 STANFORD AVE
DALLAS, TX 75209

CURRENT RESIDENT
601 CARRIAGE TRL
ROCKWALL, TX 75087

COIT RIDGE PROPERTIES LLC
6031 SHERRY LN SUITE C
DALLAS, TX 75225

JORDAN MARK S
607 HIGHLAND COLONY PKWY SUITE 200
RICHLAND, MS 39157

BRUCE SCOTT L & CRISTINA V
611 HARBOR COVE DR
ROCKWALL, TX 75087

GIBSON ROBIN S & JOHN
612 HARBOR COVE DRIVE
ROCKWALL, TX 75087

FLORENCIA HECTOR J
615 HARBOR COVE DR
ROCKWALL, TX 75087

FEDDERSON WILLIAM R & PATRICIA L
615 LOCH VIEW COURT
ROCKWALL, TX 75087

BURMANIA DARLENE M & IAN J
616 HARBOR COVE DR
ROCKWALL, TX 75087

CHERRY BEVERLY A REVOCABLE LIVING TRUST
617 HARBOR COVE DR
ROCKWALL, TX 75087

GRIFFITH JOHN E IV & VIVIAN
619 HARBOR COVE DR
ROCKWALL, TX 75087

PRATT CHARLES A AND PATRICIA L
619 LOCH VIEW CT
ROCKWALL, TX 75087

SHAW STEPHANIE AND BRYAN
620 HARBOR COVE DR
ROCKWALL, TX 75087

ROTRAMEL CHRISTIE &
621 HARBOR COVE DR
ROCKWALL, TX 75087

SEAY KENNETH WAYNE & ELIZABETH CAUFIELD
623 HARBOR COVE DRIVE
ROCKWALL, TX 75087

LITHERLAND LORILEE
627 HARBOR COVE DR
ROCKWALL, TX 75087

RICE CARINE
629 HARBOR COVE DR
ROCKWALL, TX 75087

DELAY MANAGEMENT TRUST DELORES
631 HARBOR COVE DRIVE
ROCKWALL, TX 75087

BARROW KYLE
633 HARBOR COVE DR
ROCKWALL, TX 75087

ALFORD JIM AND BARBARA
635 STAFFORD CIR
ROCKWALL, TX 75087

PACHECO ENRIQUE AND JOANN T
637 STAFFORD CIR
ROCKWALL, TX 75087

LAYAN INVESTMENTS INC
6403 CRESTMOOR LN
SACHSE, TX 75048

LEBRESCU JODIE AND ROGER
644 STAFFORD CIRCLE
ROCKWALL, TX 75087

FISH WADE W
647 STAFFORD CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
648 STAFFORD CIR
ROCKWALL, TX 75032

WHITESIDE JANIS G
650 STAFFORD CIR
ROCKWALL, TX 75087

WEST WILLIAM MARSHALL &
652 STAFFORD CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75032

CURRENT RESIDENT
9615 COUNTY ROAD 2432
ROCKWALL, TX 75160

TURTLE COVE RESIDENTIAL ASSOC
C/O TURTLE COVE HOA 3102 OAK LAWN AVE
SUITE #202
DALLAS, TX 75219

DAIKER PARTNERS LTD.
PO BOX 1059
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

STORMS STEWART M
PO BOX 12632
DALLAS, TX 75225

WAL-MART REAL ESTATE
PO BOX 8050
BENTONVILLE, AR 72712

Letter of Explanation

TJO – Ridge Road & Yellow Jacket

On behalf of The Jenkins Organization, Masterplan requests a Specific Use Permit to construct a 3-story, approximately 126,600-square foot, upscale climate controlled self-storage facility on a 2.6-acre property located southwest of the intersection of Ridge Road and Yellow Jacket Lane. It is projected that the balance of the property to the north would be developed with a future neighborhood retail building.

TJO develops and operates best in class self storage facilities in affluent Texas communities such as Craig Ranch in McKinney, Southlake, Frisco, and Bee Cave in the Austin area. TJO is interested in developing a neighborhood friendly facility with excellent customer service in the Rockwall community.

The development proposal includes the following features:

1. Premium architecturally inspired building design
2. Vast majority of units would be accessed from interior corridors
3. Well-lit, safe and secure facility
4. Building will be positioned to minimize height from street and align with adjacent retail
5. Building will step down from Ridge Rd following the topography of the site
6. Low-traffic generator – 15 visitors per day
7. Hours of access and operation from Monday-Sunday 6AM-10PM.

The proposal includes a request for relief from certain provisions of the Unified Development Code as follows:

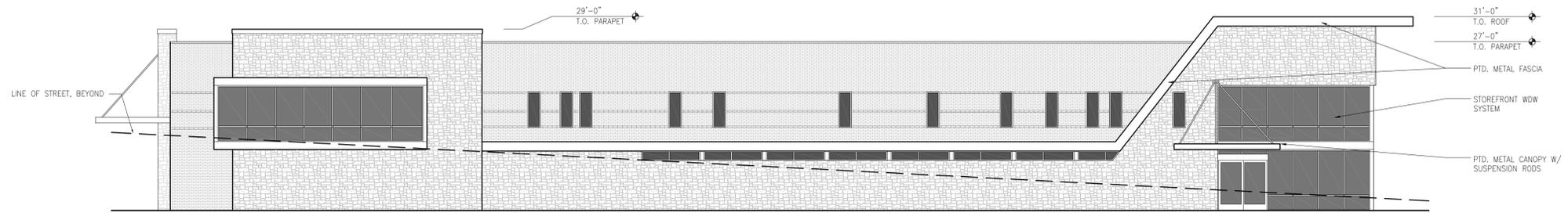
Pitched roof. TJO's building design is modern with clean lines. The roof would be flat with parapets to align with the overall modern design.

Perimeter screening adjacent to residential districts. The grade at the rear driveway will sit well below the grade of Turtle Cove. Moreover, the tree line will be preserved to provide a natural buffer from Turtle Cove to the northwest. Moreover, the elevated railroad berm provides a solid screen and fully blocks view of the subject property from Turtle Cove. A screening wall would sit well below the adjacent property, serving minimal to no purpose. Please refer to the enclosed sight line exhibit for additional information.

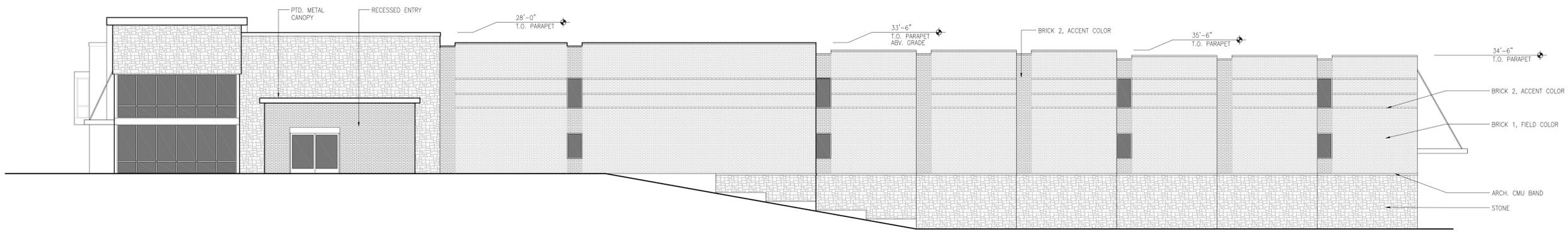
Floor-to-area ratio. A maximum floor-to-area ratio of 1.2. Use intensity for a self-storage facility is disproportionately low compared to other commercial uses. This facility would generate approximately 15-20 visitors spread out over an entire day.

One direct access point to Ridge Road. Access is necessary to serve the facility.

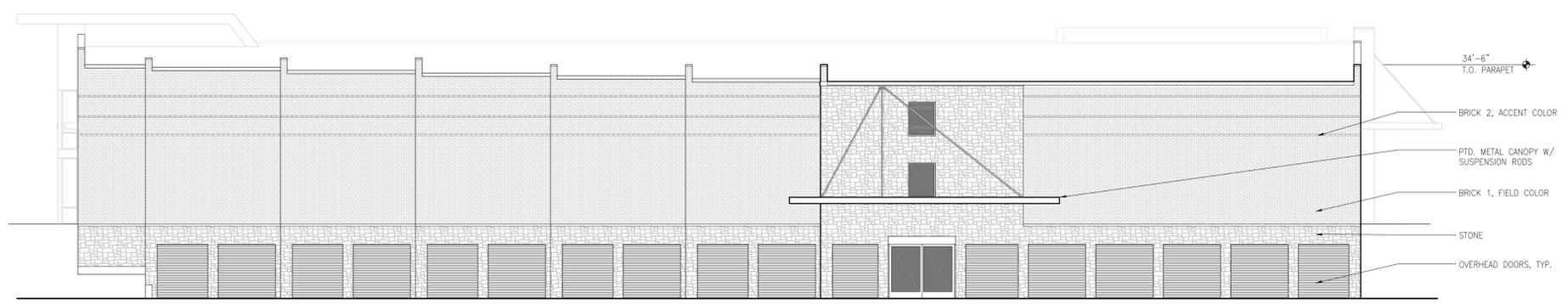
NO.	REVISIONS DESCRIPTION	DATE



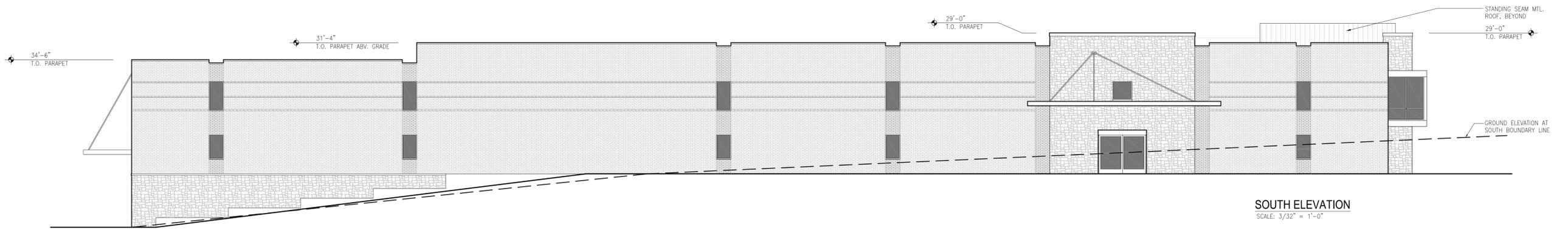
FRONT ELEVATION (RIDGE ROAD)
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION (REAR)
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

exterior elevations

Lakeview Storage
A new facility for The Jenkins Organization
Ridge Road, Rockwall, Texas

PROJECT NUMBER
1830
DATE
11.13.18
SHEET NUMBER
SUP-1

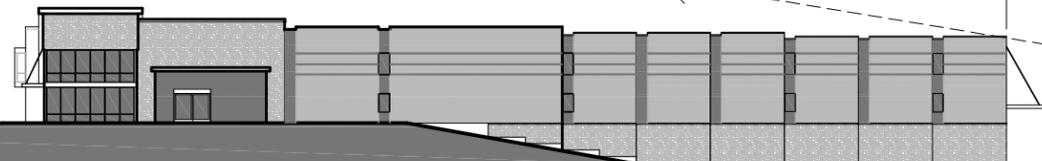


LAKEVIEW storage

RIDGE ROAD

507'

496'

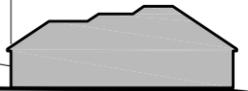
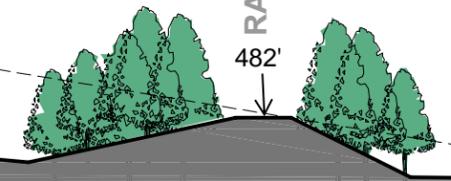


478'

295' ±

RAILROAD R.O.W.

482'



HARBOR COVE DR.

462'

SITE LINE STUDY

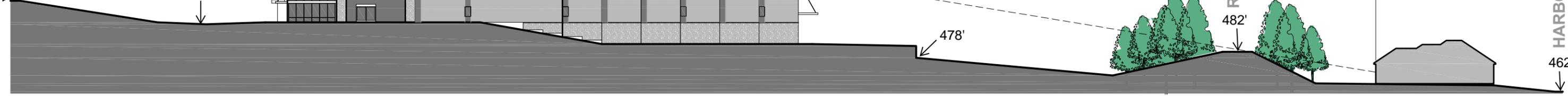


EXHIBIT A

BEING a 2.595 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being a part of Lot 1, Block A, Sky Ridge Addition, an addition to the City of Rockwall, recorded in Volume J, Page 243, Map Records, Rockwall County, Texas, and this tract being more particularly described as follows:

BEGINNING at a point for corner at the south corner of said Lot 1, Block A, Sky Ridge Addition, said corner being in the northeast boundary line of Lot 1, Block A, Hudspeth Addition, an addition to the City of Rockwall, as recorded in Cabinet B, Slide 6, Plat Records, Rockwall, Texas and in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way from which a TXDOT Monument with an Aluminum Disk found for reference bears South 57 degrees 23 minutes 15 seconds West, a distance of 0.23 feet;

THENCE, North 46 degrees 22 minutes 15 seconds West, along the common boundary line of said Lot 1, Block A, Hudspeth Addition and said Lot 1, Block A, Sky Ridge Addition, a distance of 548.61 feet to a 1/2-inch iron rod found for the west corner of said Lot 1, Block A, Sky Ridge Addition and the north corner of said Lot 1, Block A, Hudspeth Addition, said corner being in the southeast right-of-way line of the Union Pacific Railroad, a 100 ft. right-of-way;

THENCE North 43 degrees 40 minutes 54 seconds East, along the common line of said Railroad and said Lot 1, Block A, Sky Ridge Addition, a distance of 17.68 feet to a point for corner at the beginning of a non-tangent curve to the left having a radius of 5449.50 feet, and a chord which bears North 49 degrees 39 minutes 04 seconds East, a distance of 65.76 feet;

THENCE Northeasterly, along the common line of said Railroad and Lot 1, Block A, Sky Ridge Addition, and with said curve to the left, through a central angle of 00 degrees 41 minutes 29 seconds, an arc distance of 65.76 feet to a point for corner from which a 5/8-inch iron rod with a yellow plastic cap, stamped "RPLS 3963", set for reference, bears South 86 degrees 26 minutes 38 seconds East, a distance of 20.00 feet;

THENCE Southeasterly, traversing across said Lot 1, Block A, Sky Ridge Addition, the following courses:

South 86 degrees 26 minutes 38 seconds East, a distance of 86.16 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

South 81 degrees 33 minutes 11 seconds East, a distance of 129.76 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

North 85 degrees 43 minutes 25 seconds East, a distance of 61.14 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner;

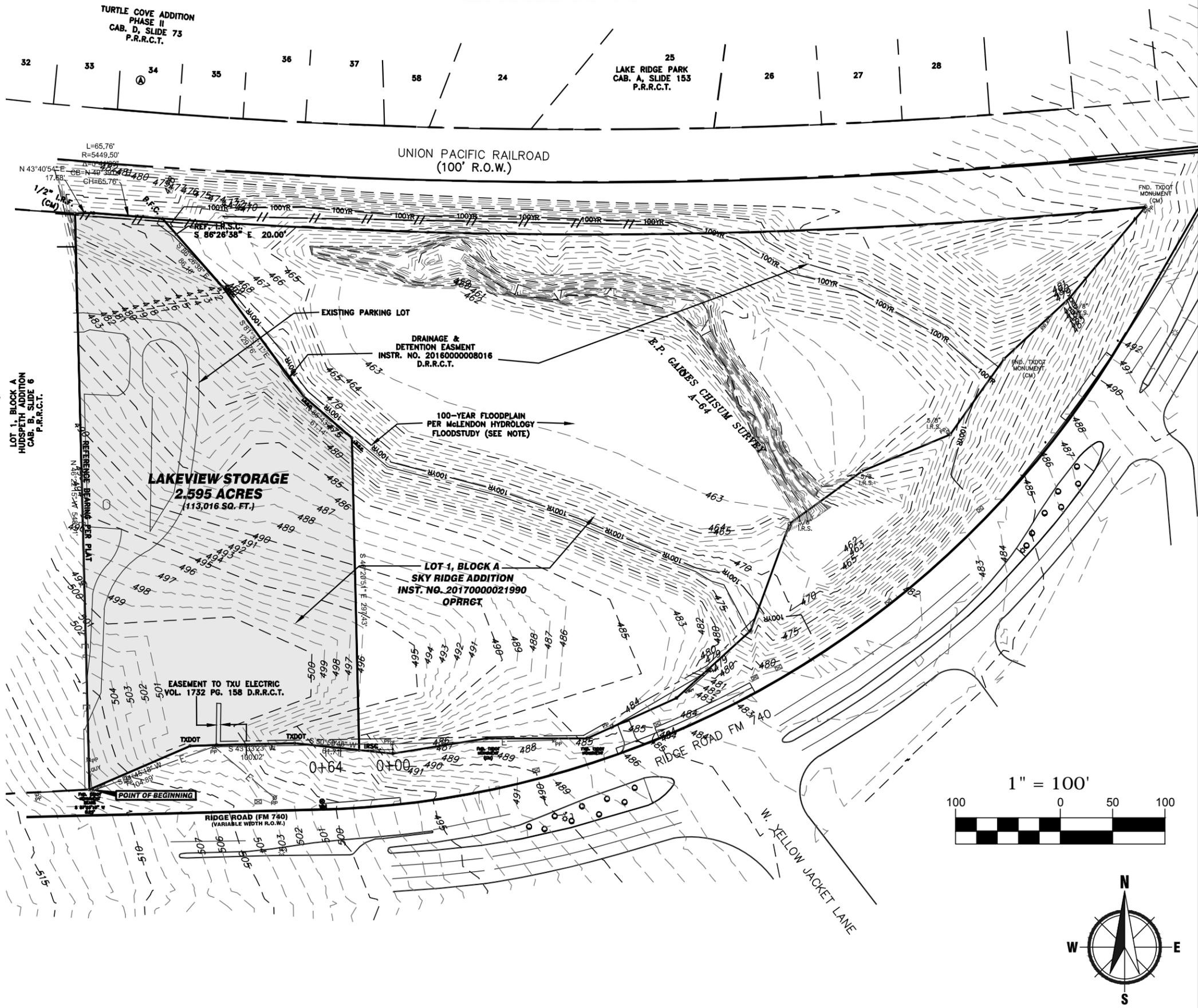
South 46 degrees 20 minutes 51 seconds East, a distance of 297.43 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner in the northwest line of said FM 740 and the southeast line of said Lot 1, Block A, Sky Ridge Addition;

THENCE Southwesterly, along the common line of said FM 740 and said Lot 1, Block A, Sky Ridge addition, the following courses:

South 50 degrees 59 minutes 46 seconds West, a distance of 61.71 feet to a TXDOT Monument with an Aluminum Disk found for corner;

South 43 degrees 33 minutes 23 seconds West, a distance of 100.02 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears South 12 degrees 53 minutes 00 seconds West, a distance of 0.14 feet;

South 21 degrees 45 minutes 18 seconds West, a distance of 104.89 feet to the POINT OF BEGINNING AND CONTAINING 113,016 square feet or 2.595 acres of land.



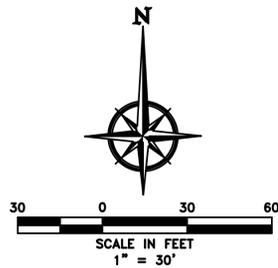
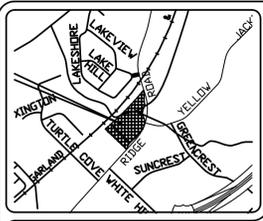
M3 ENGINEERING
 2593 S. GESSNER RD., SUITE 13
 PLANO, TEXAS 77063
 PHONE: 972.222.2295
 FAX: 972.222.2295
 FIRM # 188663
 WWW.M3ENGINEERING.COM

DATE: 20/11/2018

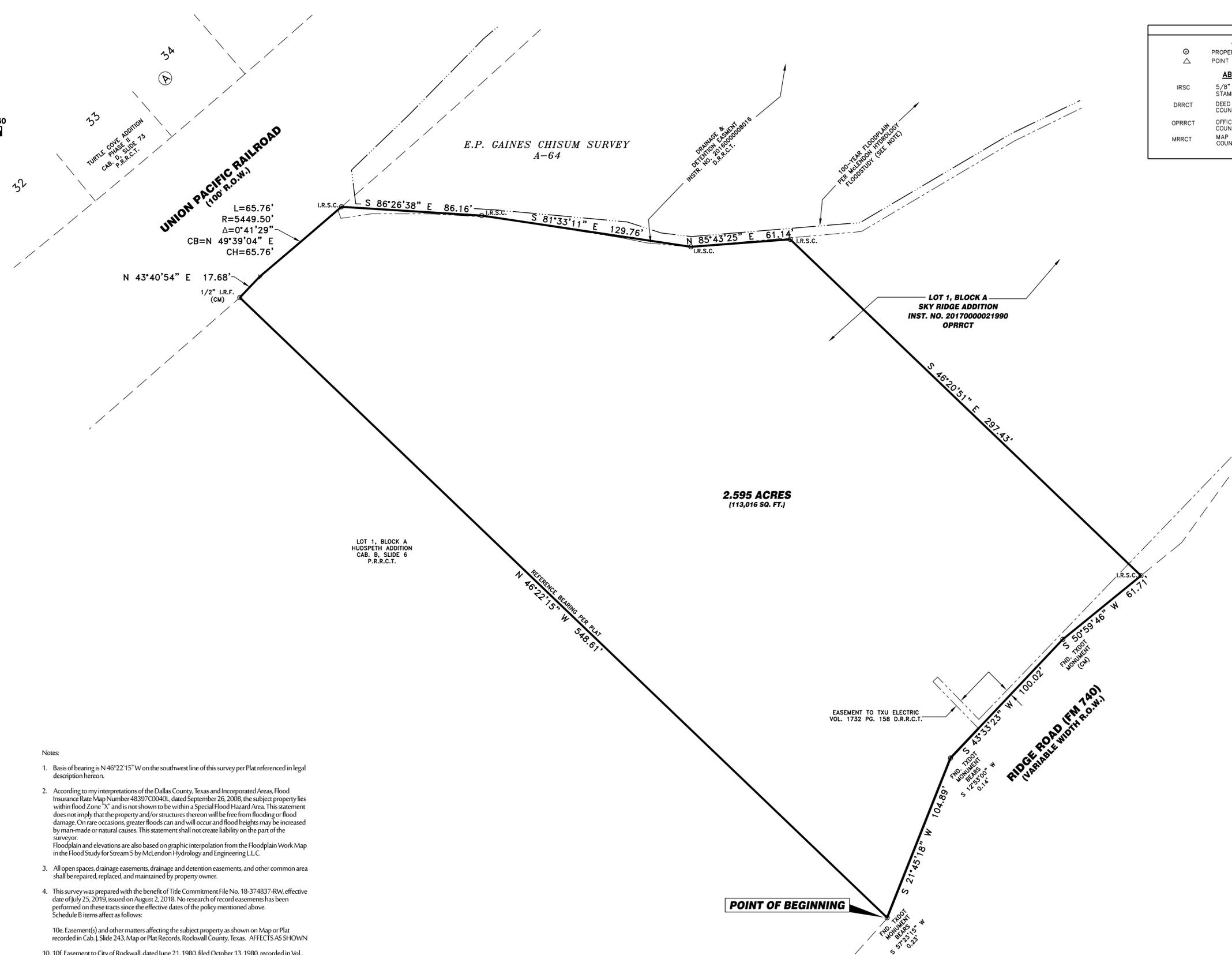
**EXHIBIT A SUP
 BOUNDARY EXHIBIT**

**LAKEVIEW STORAGE
 THE JENKINS ORGANIZATION**

DRAWN BY: TLM	FILE: 18003-SITE SUP.DWG
SCALE: 1"=100'	PROJECT NO. 18003
SHEET	
A	



LEGEND	
SYMBOLS	
○	PROPERTY CORNER
△	POINT FOR CORNER
ABBREVIATIONS	
IRSC	5/8" IRON ROD SET W/CAP STAMPED "RPLS 3963"
DRRCT	DEED RECORDS, ROCKWALL COUNTY, TEXAS
OPRRC	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
MRRCT	MAP RECORDS, ROCKWALL COUNTY, TEXAS



BEING a 2.595 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being a part of Lot 1, Block A, Sky Ridge Addition, an addition to the City of Rockwall, recorded in Volume J, Page 243, Map Records, Rockwall County, Texas, and this tract being more particularly described as follows:

BEGINNING at a point for corner at the south corner of said Lot 1, Block A, Sky Ridge Addition, said corner being in the northeast boundary line of Lot 1, Block A, Hudspeth Addition, an addition to the City of Rockwall, as recorded in Cabinet B, Slide 6, Plat Records, Rockwall, Texas and in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way from which a TXDOT Monument with an Aluminum Disk found for reference bears South 57 degrees 23 minutes 15 seconds West, a distance of 0.23 feet;

THENCE North 46 degrees 22 minutes 15 seconds West, along the common boundary line of said Lot 1, Block A, Hudspeth Addition and said Lot 1, Block A, Sky Ridge Addition, a distance of 548.61 feet to a 1/2-inch iron rod found for the west corner of said Lot 1, Block A, Sky Ridge Addition and the north corner of said Lot 1, Block A, Hudspeth Addition, said corner being in the southeast right-of-way line of the Union Pacific Railroad, a 100 ft. right-of-way;

THENCE North 43 degrees 40 minutes 54 seconds East, along the common line of said Railroad and said Lot 1, Block A, Sky Ridge Addition, a distance of 17.68 feet to a point for corner at the beginning of a non-tangent curve to the left having a radius of 5449.50 feet, and a chord which bears North 49 degrees 39 minutes 04 seconds East, a distance of 65.76 feet;

THENCE Northeasterly, along the common line of said Railroad and Lot 1, Block A, Sky Ridge Addition, and with said curve to the left, through a central angle of 00 degrees 41 minutes 29 seconds, an arc distance of 65.76 feet to a 5/8-inch iron rod with a yellow plastic cap, stamped "RPLS 3963", set for corner;

THENCE Southeasterly, traversing across said Lot 1, Block A, Sky Ridge Addition, the following courses:

South 86 degrees 26 minutes 38 seconds East, a distance of 86.16 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

South 81 degrees 33 minutes 11 seconds East, a distance of 129.76 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

North 85 degrees 43 minutes 25 seconds East, a distance of 61.14 feet to a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner;

South 46 degrees 20 minutes 51 seconds East, a distance of 297.43 feet to a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner in the northwest line of said FM 740 and the southeast line of said Lot 1, Block A, Sky Ridge Addition;

THENCE Southwesterly, along the common line of said FM 740 and said Lot 1, Block A, Sky Ridge addition, the following courses:

South 50 degrees 59 minutes 46 seconds West, a distance of 61.77 feet to a TXDOT Monument with an Aluminum Disk found for corner;

South 43 degrees 33 minutes 23 seconds West, a distance of 100.02 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears South 12 degrees 53 minutes 00 seconds West, a distance of 0.14 feet;

South 21 degrees 45 minutes 18 seconds West, a distance of 104.89 feet to the POINT OF BEGINNING AND CONTAINING 113,016 square feet or 2.595 acres of land.

- Notes:
- Basis of bearing is N 46°22'15" W on the southwest line of this survey per Plat referenced in legal description hereon.
 - According to my interpretations of the Dallas County, Texas and Incorporated Areas, Flood Insurance Rate Map Number 48397C0040L, dated September 26, 2008, the subject property lies within flood Zone "X" and is not shown to be within a Special Flood Hazard Area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the surveyor. Floodplain and elevations are also based on graphic interpolation from the Floodplain Work Map in the Flood Study for Stream 5 by McLendon Hydrology and Engineering L.L.C.
 - All open spaces, drainage easements, drainage and detention easements, and other common area shall be repaired, replaced, and maintained by property owner.
 - This survey was prepared with the benefit of Title Commitment File No. 18-374837-RW, effective date of July 25, 2019, issued on August 2, 2018. No research of record easements has been performed on these tracts since the effective dates of the policy mentioned above. Schedule B items affect as follows:
 - Easement(s) and other matters affecting the subject property as shown on Map or Plat recorded in Cab. J, Slide 243, Map or Plat Records, Rockwall County, Texas. AFFECTS AS SHOWN
 - Easement to City of Rockwall, dated June 21, 1980, filed October 13, 1980, recorded in Vol. 153, Page 719, Real Property Records, Rockwall County, Texas, and shown on map recorded in Cab. J, Slide 243, Map Records, Rockwall County, Texas. DOES NOT AFFECT
 - Easement to Texas Utilities Electric Company, dated September 9, 1999, filed October 12, 1999, recorded in Vol. 1732, Paged 158, Real Property Records, Rockwall County, Texas. AFFECTS AS SHOWN
 - Easement to City of Rockwall, dated May 17, 2016, filed May 17, 2016, recorded as Clerk's No. 201600008016, Real Property Records, Rockwall County, Texas, and shown on map recorded in Cab. J, Slide 243, Map Records, Rockwall County, Texas. AFFECTS AS SHOWN

I, Robert C. Myers, Registered Professional Land Surveyor, do hereby certify that this plat represents the results of a survey made on the ground under my supervision during the month of September, 2018, and substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A Condition II Survey. FIELD WORK WAS COMPLETED ON 09-11-18.

PRELIMINARY- FOR REVIEW ONLY
NOT TO BE RECORDED FOR ANY PURPOSE
RELEASED 9-12-18

ROBERT C. MYERS R.P.L.S. NO. 3963



R.C. MYERS SURVEYING, LLC
 "Registered Professional Land Surveyors"
 488 ARROYO COURT (214) 532-0636 Voice
 SUNNYVALE, TEXAS 75182 Firm No. 10192300
 Robert "Calvin" Myers, RPLS 3963
 rcmsurveying@gmail.com

Client: The Jenkins Organization, Inc.
 Job No.: 377B Drawn by: MZG Date: 09-12-18 Revised:

LAND TITLE SURVEY
 OF
2.595 ACRES
 OUT OF
**LOT 1, BLOCK A,
 SKY RIDGE ADDITION
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**

2.595 ACRES (DWG)

BEING a 2.595 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being a part of Lot 1, Block A, Sky Ridge Addition, an addition to the City of Rockwall, recorded in Volume J, Page 243, Map Records, Rockwall County, Texas, and this tract being more particularly described as follows:

BEGINNING at a point for corner at the south corner of said Lot 1, Block A, Sky Ridge Addition, said corner being in the northeast boundary line of Lot 1, Block A, Hudspeth Addition, an addition to the City of Rockwall, as recorded in Cabinet B, Slide 6, Plat Records, Rockwall, Texas and in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way from which a TXDOT Monument with an Aluminum Disk found for reference bears South 57 degrees 23 minutes 15 seconds West, a distance of 0.23 feet;

THENCE, North 46 degrees 22 minutes 15 seconds West, along the common boundary line of said Lot 1, Block A, Hudspeth Addition and said Lot 1, Block A, Sky Ridge Addition, a distance of 548.61 feet to a 1/2-inch iron rod found for the west corner of said Lot 1, Block A, Sky Ridge Addition and the north corner of said Lot 1, Block A, Hudspeth Addition, said corner being in the southeast right-of-way line of the Union Pacific Railroad, a 100 ft. right-of-way;

THENCE North 43 degrees 40 minutes 54 seconds East, along the common line of said Railroad and said Lot 1, Block A, Sky Ridge Addition, a distance of 17.68 feet to a point for corner at the beginning of a non-tangent curve to the left having a radius of 5449.50 feet, and a chord which bears North 49 degrees 39 minutes 04 seconds East, a distance of 65.76 feet;

THENCE Northeasterly, along the common line of said Railroad and Lot 1, Block A, Sky Ridge Addition, and with said curve to the left, through a central angle of 00 degrees 41 minutes 29 seconds, an arc distance of 65.76 feet to a point for corner from which a 5/8-inch iron rod with a yellow plastic cap, stamped "RPLS 3963", set for reference, bears South 86 degrees 26 minutes 38 seconds East, a distance of 20.00 feet;

THENCE Southeasterly, traversing across said Lot 1, Block A, Sky Ridge Addition, the following courses:

South 86 degrees 26 minutes 38 seconds East, a distance of 86.16 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

South 81 degrees 33 minutes 11 seconds East, a distance of 129.76 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

North 85 degrees 43 minutes 25 seconds East, a distance of 61.14 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner;

South 46 degrees 20 minutes 51 seconds East, a distance of 297.43 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner in the northwest line of said FM 740 and the southeast line of said Lot 1, Block A, Sky Ridge Addition;

THENCE Southwesterly, along the common line of said FM 740 and said Lot 1, Block A, Sky Ridge addition, the following courses:

South 50 degrees 59 minutes 46 seconds West, a distance of 61.71 feet to a TXDOT Monument with an Aluminum Disk found for corner;

South 43 degrees 33 minutes 23 seconds West, a distance of 100.02 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears South 12 degrees 53 minutes 00 seconds West, a distance of 0.14 feet;

South 21 degrees 45 minutes 18 seconds West, a distance of 104.89 feet to the POINT OF BEGINNING AND CONTAINING 113,016 square feet or 2.595 acres of land.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A MINI-WAREHOUSE FACILITY IN A COMMERCIAL (C) DISTRICT, SITUATED ON A 2.595-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF LOT 1, BLOCK A, SKY RIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky for the approval of a Specific Use Permit (SUP) to allow a *mini-warehouse facility* in a Commercial (C) District on a 2.595-acre tract of land being described as a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, and being more specifically depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *mini-warehouse facility* within a Commercial (C) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in Subsection 2.1.10, *Wholesale, Distribution, and Storage*, of Section 2, *Use Standards*, of Article IV, *Permissible Uses*, and Subsection 4.5, *Commercial (C) District*, of Section 4, *Commercial District and Subsection 6.8, Scenic Overlay (SOV) District*, of Section 6, *Overlay Districts* of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], as

heretofore amended and as may be amended in the future, and shall be subject to the following operational conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions shall pertain to the operation of a *mini-warehouse facility* on the subject property, and conformance to these operations is required for continued operation:

- 1) The development shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The building elevations shall generally conform to the *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) The maximum number of storage units provided shall not exceed 400 units for the facility.
- 4) The maximum number of floors is limited to three (3) stories.
- 5) The mini-warehouse facility shall not be greater than 36-feet in height.
- 6) No outside storage of any kind shall be allowed (*including the outside storage of boats, recreational vehicles, trailers, and motor or self-propelled vehicles*).
- 7) Businesses shall not be allowed to operate within individual storage units.
- 8) The commercial operation of rental trucks and trailers shall be prohibited.
- 9) The developer shall maintain the treeline adjacent to the northwest property line.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF FEBRUARY, 2019.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

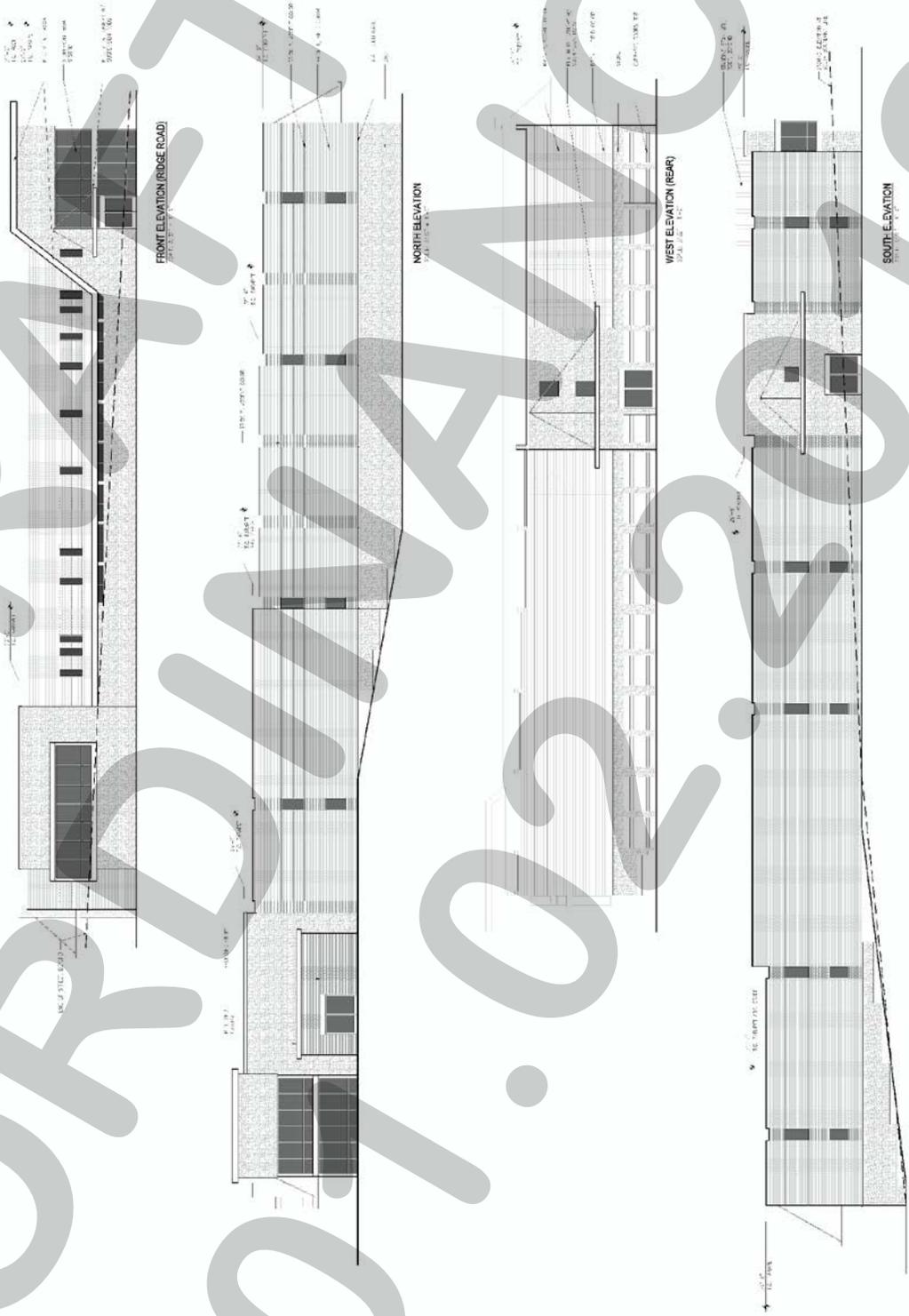
1st Reading: January 22, 2019

2nd Reading: February 4, 2019

**Exhibit 'C':
Concept Building Elevations**

 <p>10000 W. LAKELAND BLVD. SUITE 100 DALLAS, TEXAS 75243 www.davidbaca.com</p>	<p>SCHEMATIC DESIGN REVIEW</p> <p>NOT FOR REGULATION APPROVAL OR CONSTRUCTION</p>	<p>DATE: 11/13/18</p>
		<p>PROJECT: Lakeview Storage</p>

Ridge Road, Rockwall, Texas
 A new facility for The Lenders Organization
 1830
 11.13.18
 SUP-1



exterior elevations

Exhibit 'C':
Concept Building Elevations



City of Rockwall Project Plan Review History



Project Number Z2018-056	Owner ATHEY, BOBBY FRANK	Applied 12/14/2018 LM
Project Name Zoning Change (AG to C)	Applicant ROCKWALL FRIENDSHIP BAPTIST CHURCH	Approved
Type ZONING		Closed
Subtype REZONE		Expired
Status Staff Review		Status

Site Address AIRPORT RD	City, State Zip ROCKWALL, TX 75087	Zoning
-----------------------------------	--	---------------

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	2-4	NULL	2-4	0102-0000-0002-04-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/18/2018	12/25/2018	12/18/2018		APPROVED	
ENGINEERING (12/27/2018 10:56 AM SH) - 4% Engineering Inspection Fees. - Impact Fees. - Justin Road paving improvements and right-of-way dedication. 85' ROW for M4D pavement section. - Off site right-of-way dedication required. - Driveway spacing on Justin Rd is 200' from John King and 100' to the east. - Median in Justin Rd. to be stamped and stained in truck full depth. - Detention is required. "C" value for drainage is by land use. - Minimum utility easement width is 20'. - Install 12" water line adjacent to Justin, along John King, and connect to existing 12" line at Airport Road. - Sewer is available along the proposed Justin road. - No dead-end parking. Must include a loop or turnaround. - Parking to be 20'x9' - Drive isles to be 24' wide with 20' min radius. - 10 ft trail along John King - Impoundments/Retention of Water requires State Approval - Dumpster to drain to oil/water separator or grease trap. - Must install left turn lane on John King. - Must construct a 10' wide trail along John King. - TxDOT permit required. - Must meet City Standards.	Sarah Hager	12/14/2018	12/21/2018	12/27/2018	13	APPROVED	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	APPROVED	
PLANNING	Korey Brooks	12/14/2018	12/21/2018	12/27/2018	13	COMMENTS	Comments
<p>Z2018-056 ZONING CHANGE (AG TO C) Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Commercial (C) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (Z2018-056) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting.</p> <p>I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 20019. The Planning and Zoning Meeting for this case is January 15, 2019 2018.</p> <p>I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.</p>							



PRE-APPLICATION MEETING REQUEST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

MEETING DATE: 12-6-2018

MEETING TIME: 11:00

PRE-APPLICATION MEETING INFORMATION

A Pre-Application Meeting is strongly recommended prior to submittal of a development application. These meetings are held on Thursday morning's beginning at 9:00 AM, by appointment. Representatives from Engineering, Planning, Fire, Parks (if necessary) and Building attend the meeting in an effort to assist you with your project by answering any questions you may have and explaining the development process and timelines.

Due to the number of requests for Pre-Application meetings that are received, staff cannot guarantee an appointment at the next scheduled meeting. We recommend requesting an appointment a minimum of one (1) week in advance. To best facilitate discussion during the meeting, include all conceptual drawings, site plans or other schematics with your completed request. For assistance with this form or other questions, please contact the Planning Department at (972) 771-7745 or at planning@rockwall.com.


Initial Above

I acknowledge that a conceptual drawing or site plan must be submitted as part of this request. Appointments may not be scheduled for requests without conceptual plans.


Initial Above

I acknowledge that neither submission of this request, nor the Pre-Application meeting, constitutes a permit or confers any permit rights under Chapter 245 of the Texas Local Government Code.

PROPERTY AND PROJECT INFORMATION [PLEASE PRINT]

Address

—

General Location

NEC JOHN KING BLVD & JUSTIN ROAD

Proposed Use

Church

Proposed Square Footage

25,700

Are you proposing any alcohol sales?

[] Yes No

Do you intend to subdivide or combine the property with other parcels?

[] Yes No

Is the project expected to exceed \$50,000 in cost?

Yes [] No

APPLICANT INFORMATION [PLEASE PRINT]

Applicant

THOMAS JONES

Address

5815 MEADOWCREST

City

DAKAS

State

TX

Zip

75230

Phone

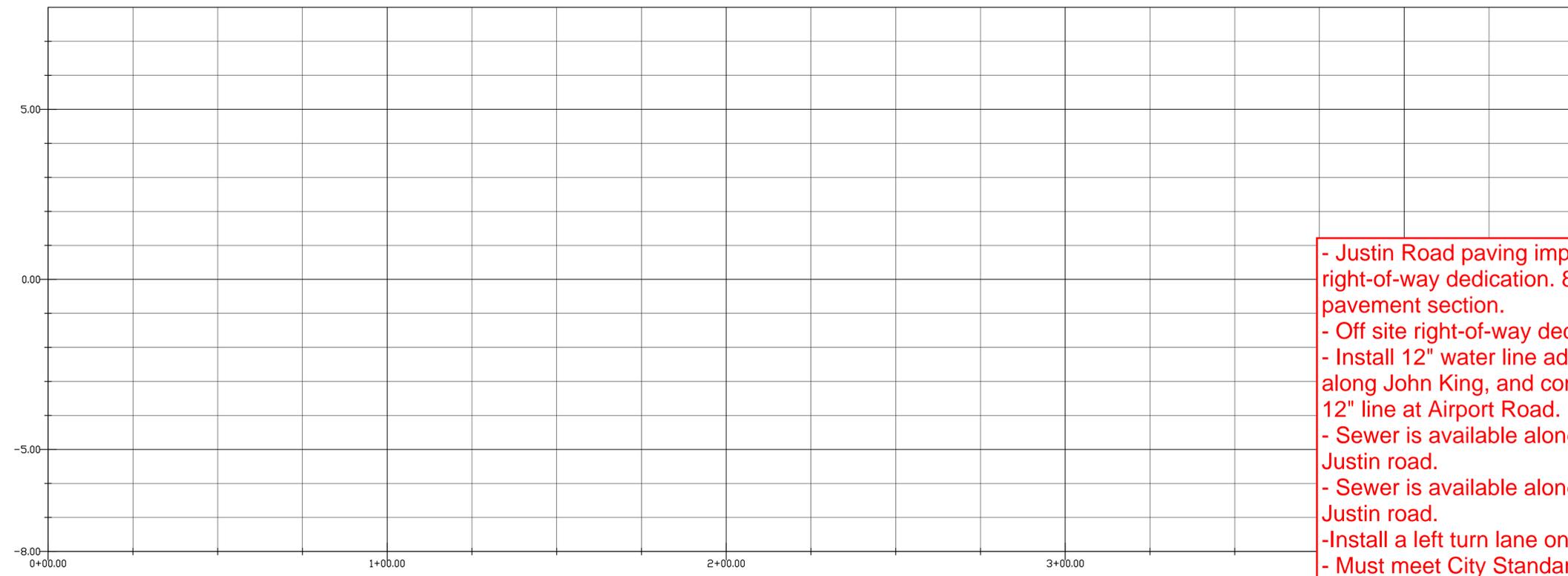
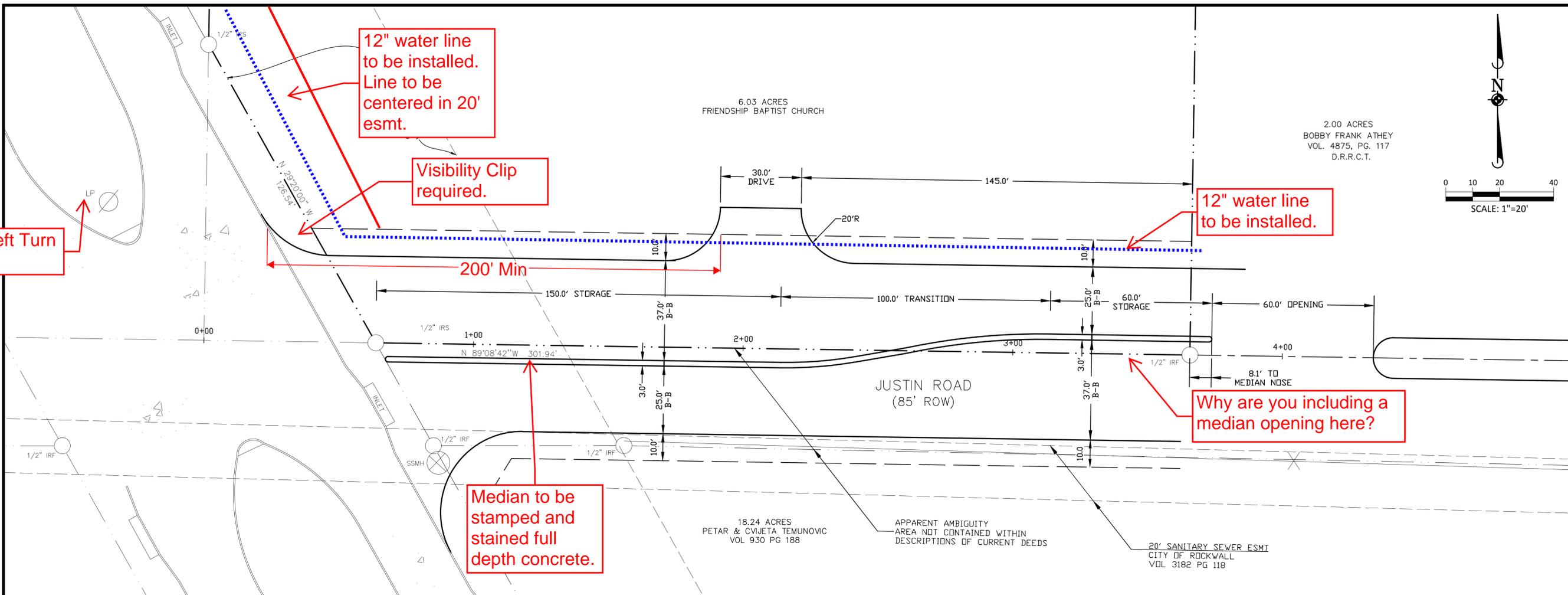
214.679.1679

Email

TJONES@TJMDEN.COM

RESOURCES FOR YOU

- ✓ For applications, checklists, departmental contacts, demographics and more, visit our website: <http://www.rockwall.com/planning>
- ✓ For GIS information for due diligence research, including downloadable and interactive maps (for zoning, parcel information, etc.), visit our GIS website: <http://www.rockwall.com/gis>



- Justin Road paving improvements and right-of-way dedication. 85' ROW for M4D pavement section.
- Off site right-of-way dedication required.
- Install 12" water line adjacent to Justin, along John King, and connect to existing 12" line at Airport Road.
- Sewer is available along the proposed Justin road.
- Sewer is available along the proposed Justin road.
- Install a left turn lane on John King Rd.
- Must meet City Standards.
- 10 ft trail along John King
- Must have TxDOT permit.

NO.	DATE	REVISIONS

TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679-1679
 tjones@tomden.com
 FIRM No. 19244

JUSTIN ROAD EXTENSION
FRIENDSHIP BAPTIST CHURCH
PRELIMINARY ROADWAY LAYOUT

THOMAS P. JONES, P.E.
 TEXAS P.E. No. 58887
 ISSUED THIS DATE:
 NOVEMBER 02, 2018

PROJ. MGR.: TJ
 PROJ. ASSOC.: AC
 DRAWN BY: AC
 DATE: 11/02/2018
 SCALE:

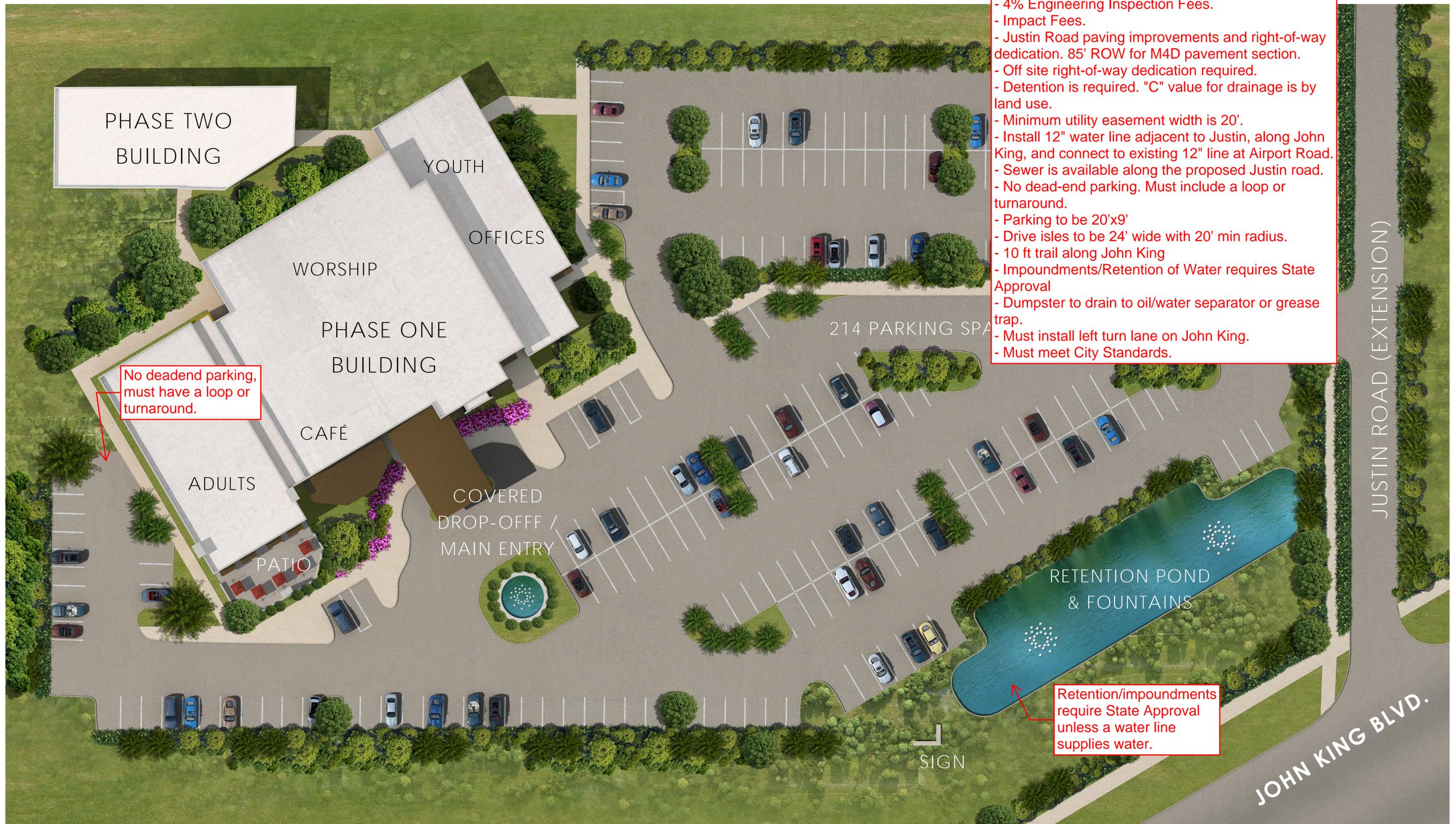
SHEET
1 OF **1**



**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

NEW WORSHIP CENTER





No deadend parking, must have a loop or turnaround.

- 4% Engineering Inspection Fees.
- Impact Fees.
- Justin Road paving improvements and right-of-way dedication. 85' ROW for M4D pavement section.
- Off site right-of-way dedication required.
- Detention is required. "C" value for drainage is by land use.
- Minimum utility easement width is 20'.
- Install 12" water line adjacent to Justin, along John King, and connect to existing 12" line at Airport Road.
- Sewer is available along the proposed Justin road.
- No dead-end parking. Must include a loop or turnaround.
- Parking to be 20'x9'
- Drive isles to be 24' wide with 20' min radius.
- 10 ft trail along John King
- Impoundments/Retention of Water requires State Approval
- Dumpster to drain to oil/water separator or grease trap.
- Must install left turn lane on John King.
- Must meet City Standards.

Retention/impoundments require State Approval unless a water line supplies water.



**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

MASTER SITE PLAN

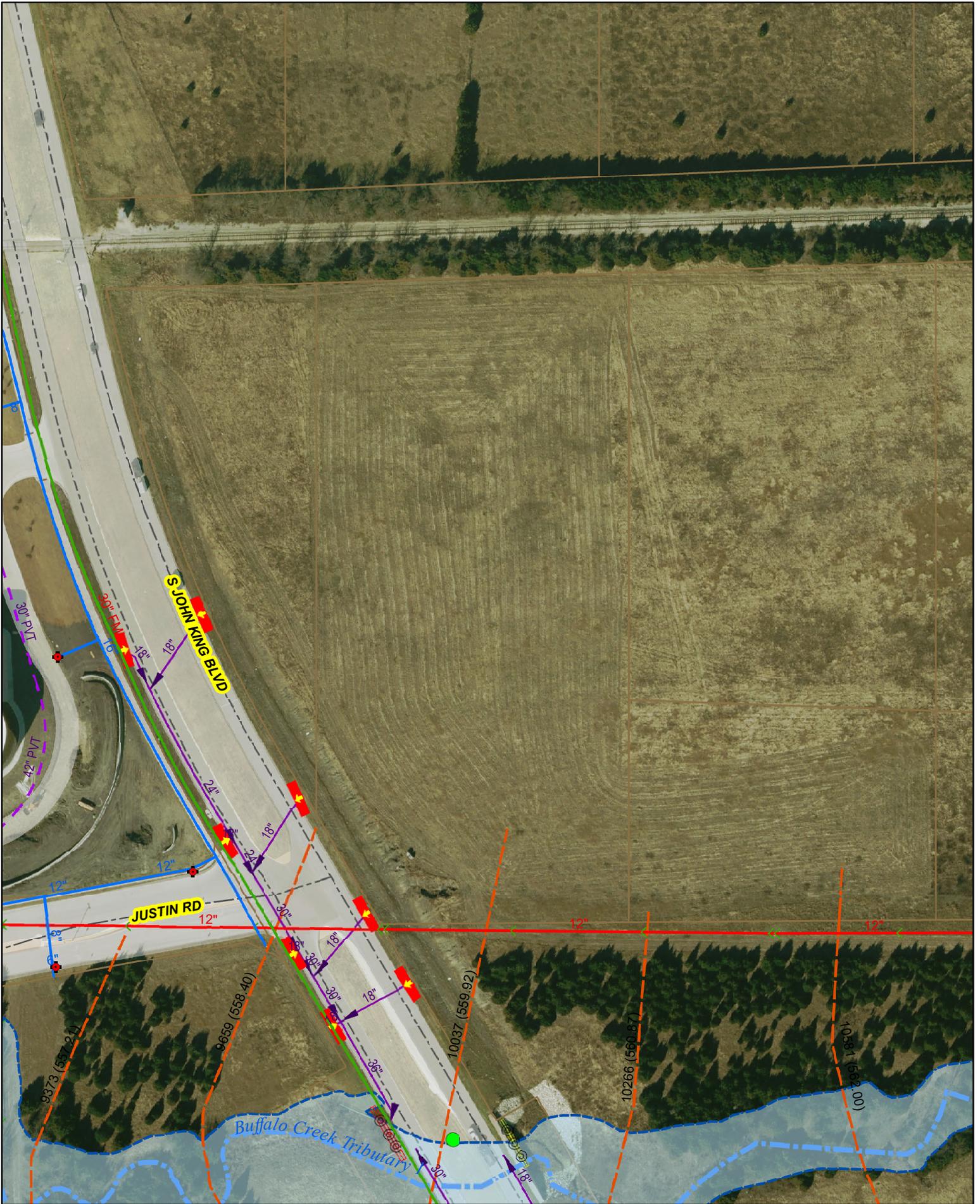




**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

FLOOR PLAN





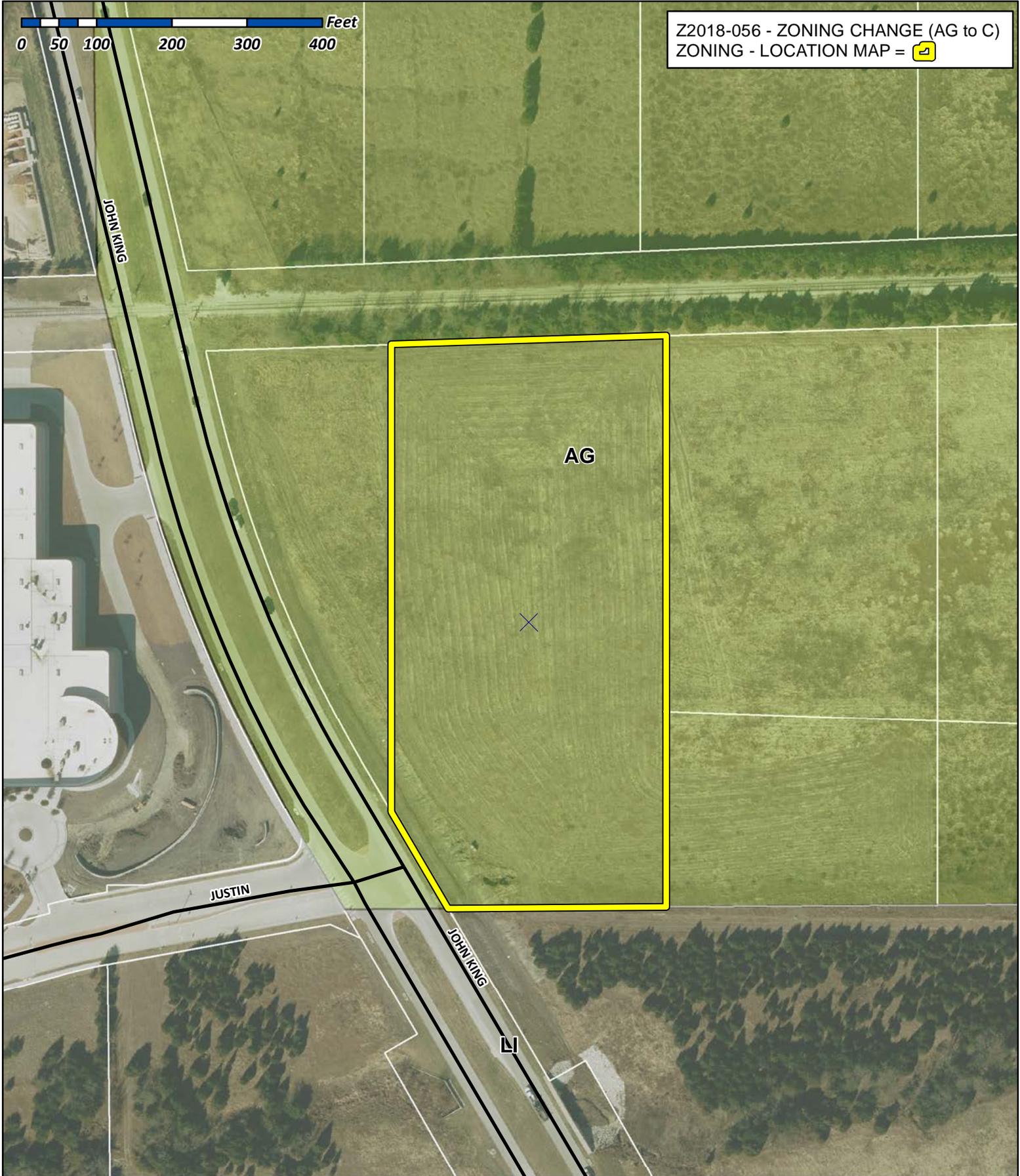
0 50 100 Feet
 CITY OF ROCKWALL GEOGRAPHIC INFORMATION SYSTEMS
 1 inch = 142 feet
 Date: 12/3/2018

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

**Approximate
 Utility Locations**

0 50 100 200 300 400 Feet

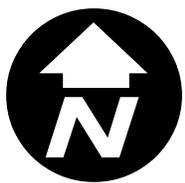
Z2018-056 - ZONING CHANGE (AG to C)
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

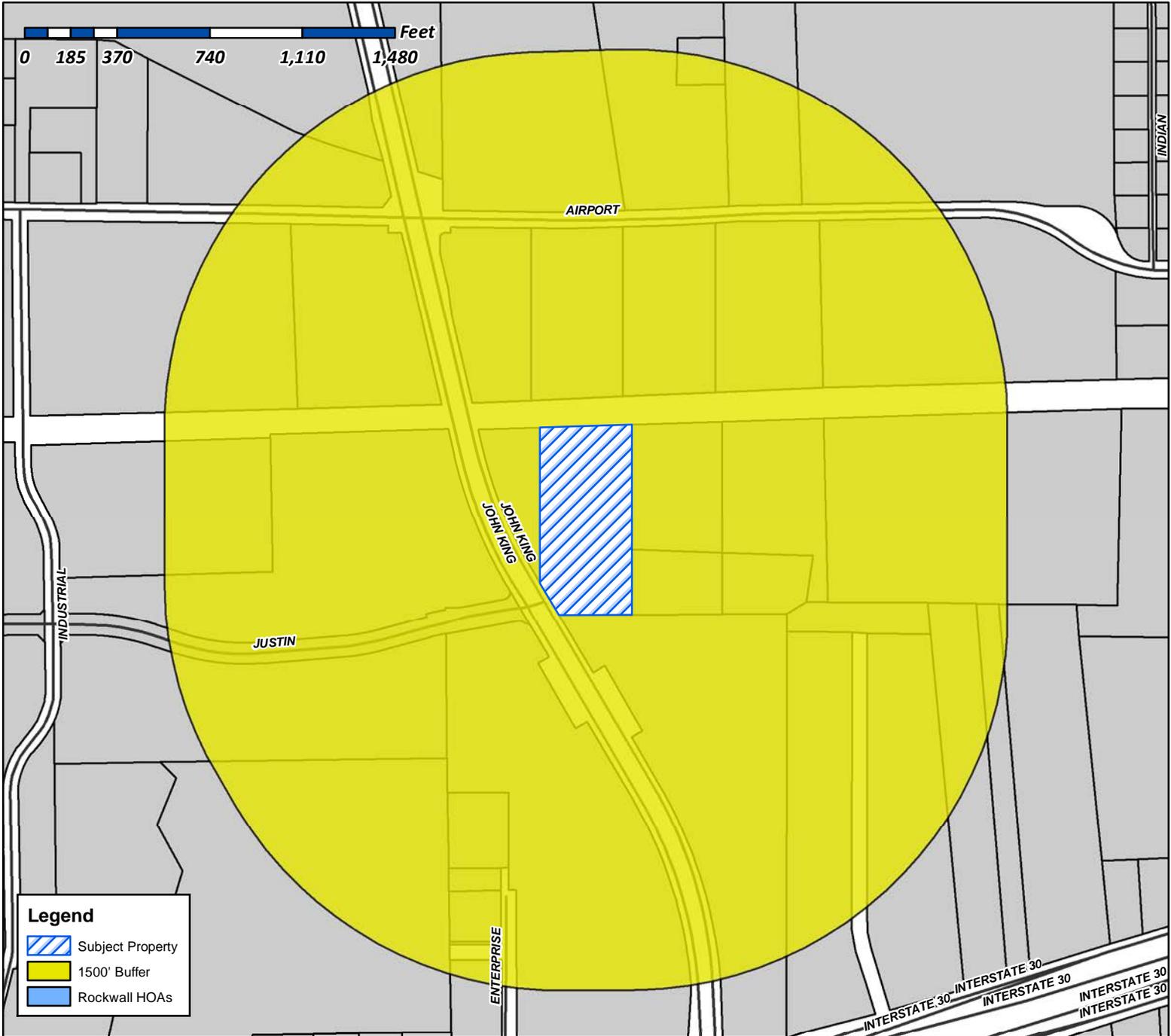
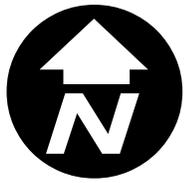




City of Rockwall

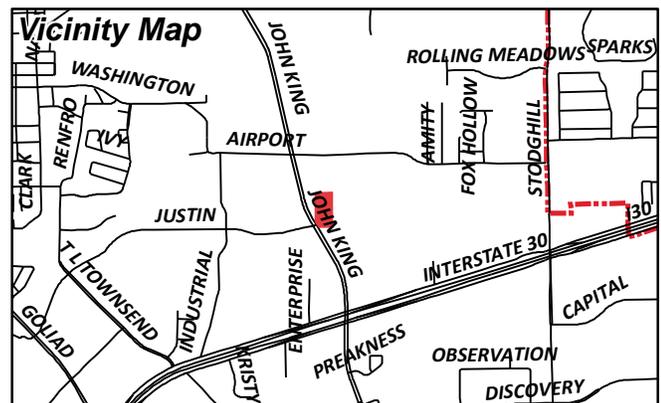
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2018-056
Case Name: Zoning Change (AG to C)
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: East of the Intersection of Justin Road and John King Blvd.

Date Created: 12/14/2018
 For Questions on this Case Call (972) 771-7745

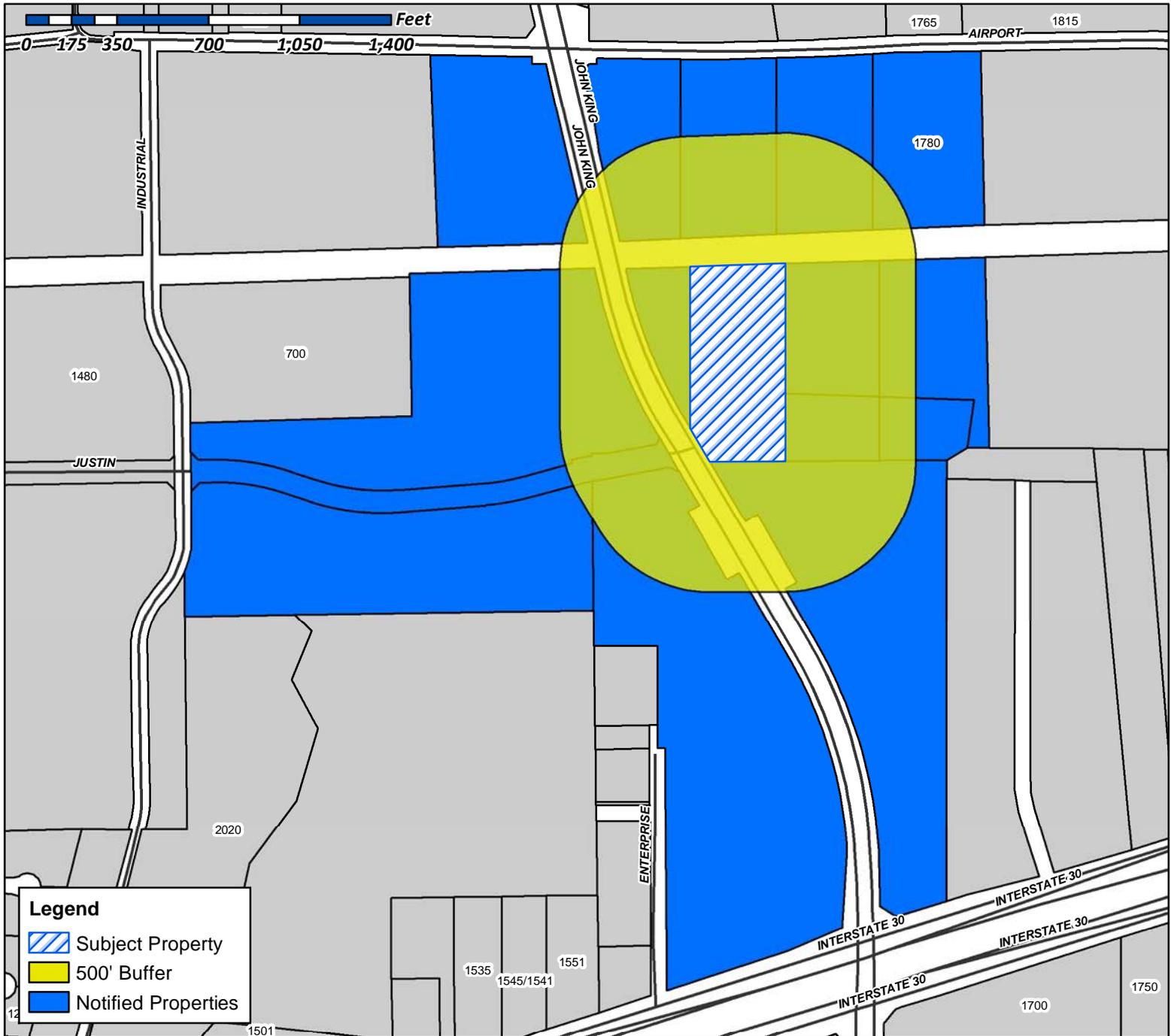
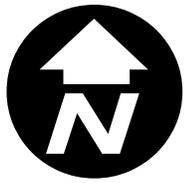




City of Rockwall

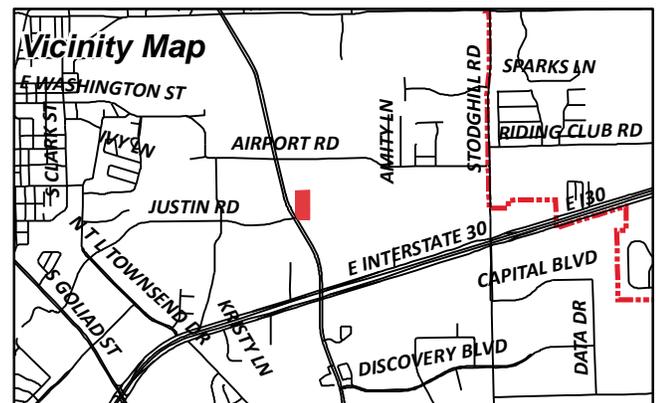
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 For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1780 AIRPORT RD
ROCKWALL, TX 75087

ATHEY JACKIE RAY
1780 AIRPORT RD
ROCKWALL, TX 75087

VALK RON
1834 S FM 551
FATE, TX 75189

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
26040 YNEZ ROAD
TEMECULA, CA 92591

TEMUNOVIC PARTNERSHIP LTD
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
5651 STATE HIGHWAY 276
ROYSE CITY, TX 75189

ATHEY JO ANN
PO BOX 219
LAVON, TX 75166

ATHEY BOBBY FRANK
PO BOX 472051
GARLAND, TX 75047

ATHEY BOBBY FRANK
PO BOX 472051
GARLAND, TX 75047

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087



**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

MASTER SITE PLAN





**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

FLOOR PLAN

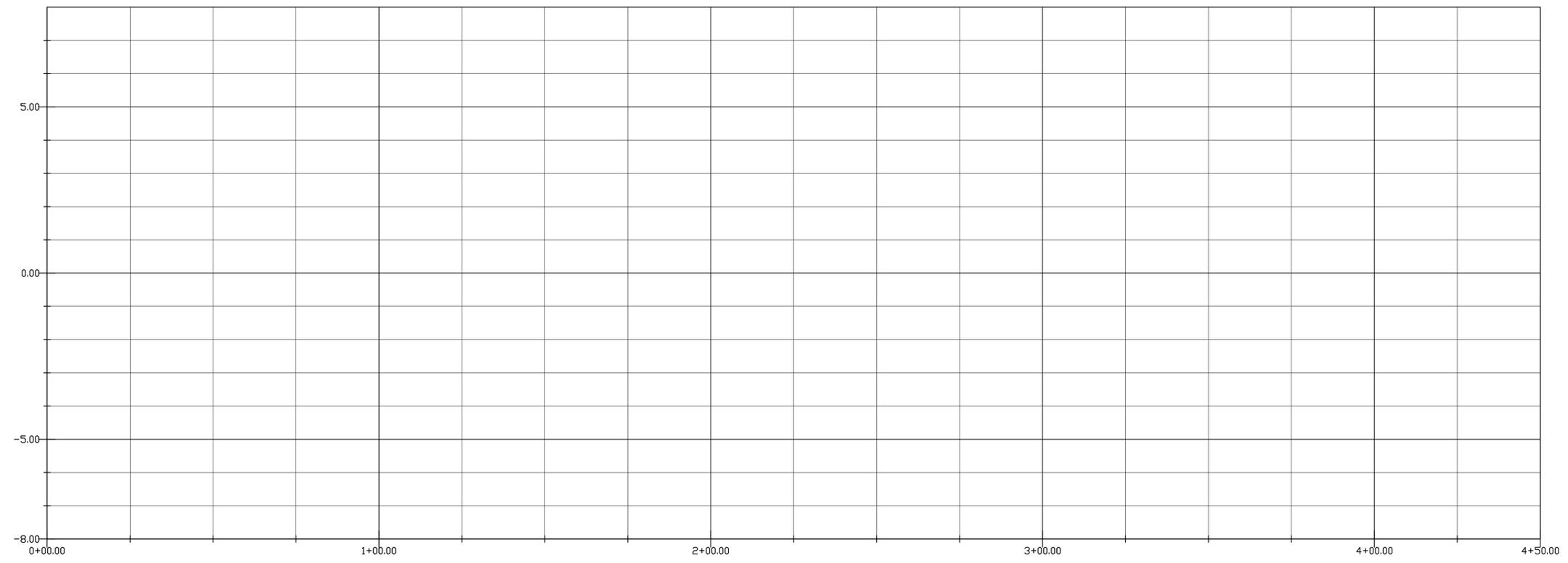
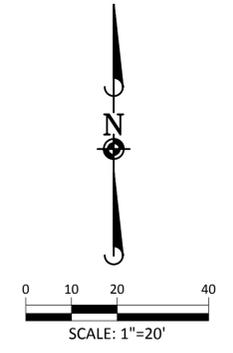
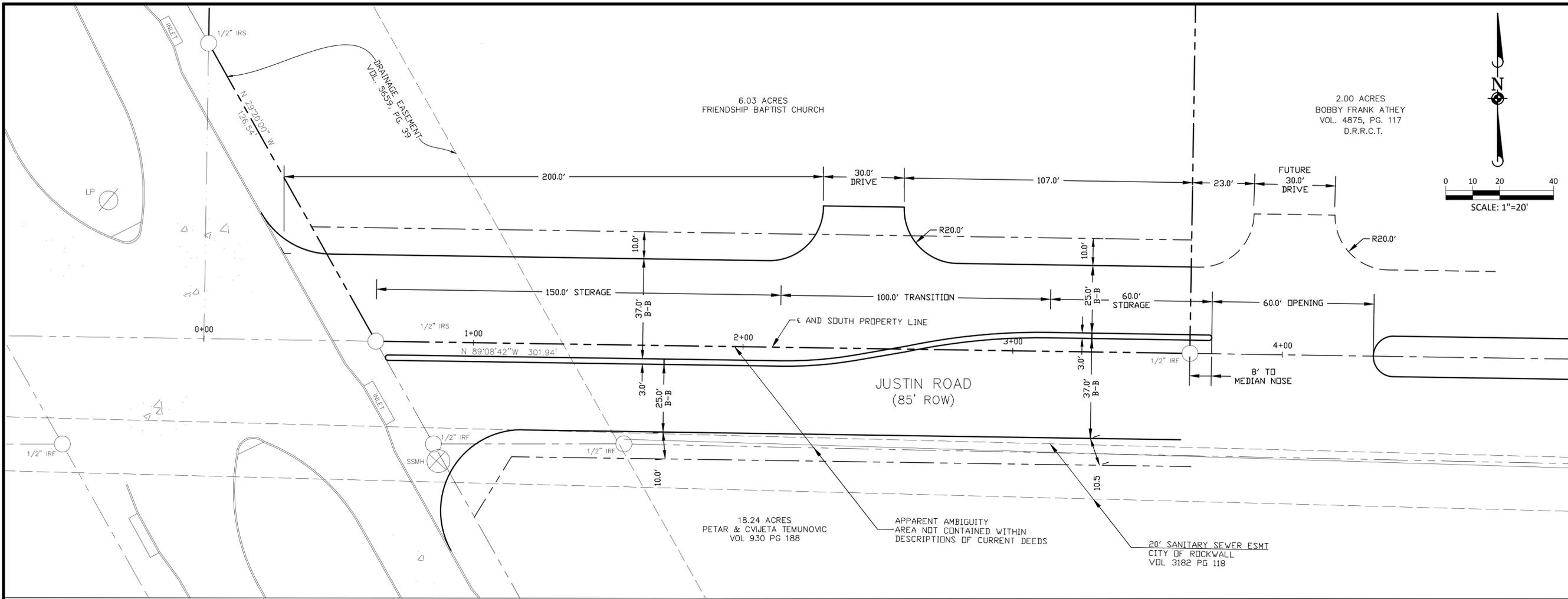




**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

NEW WORSHIP CENTER





NO.	DATE	REVISIONS

TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679-1679
 tjones@tomden.com
 FIRM No. 19244

**JUSTIN ROAD EXTENSION
 FRIENDSHIP BAPTIST CHURCH
 PRELIMINARY ROADWAY LAYOUT**

THOMAS P. JONES, P.E.
 TEXAS P.E. No. 58887
 ISSUED THIS DATE:
 DECEMBER 10, 2018
 PROJ. MGR.: TJ
 PROJ. ASSOC.: AC
 DRAWN BY: AC
 DATE: 12/10/2018
 SCALE:

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 6.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-4 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tom Jones on behalf of Susan Thomas of Rockwall Friendship Baptist Church for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 6.03-acre tract of land identified as Tract 2-4 of the D. Harr Survey, Abstract No. 103, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses* and Section 4.5, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 2-4 of the D. Harr Survey, Abstract No. 102

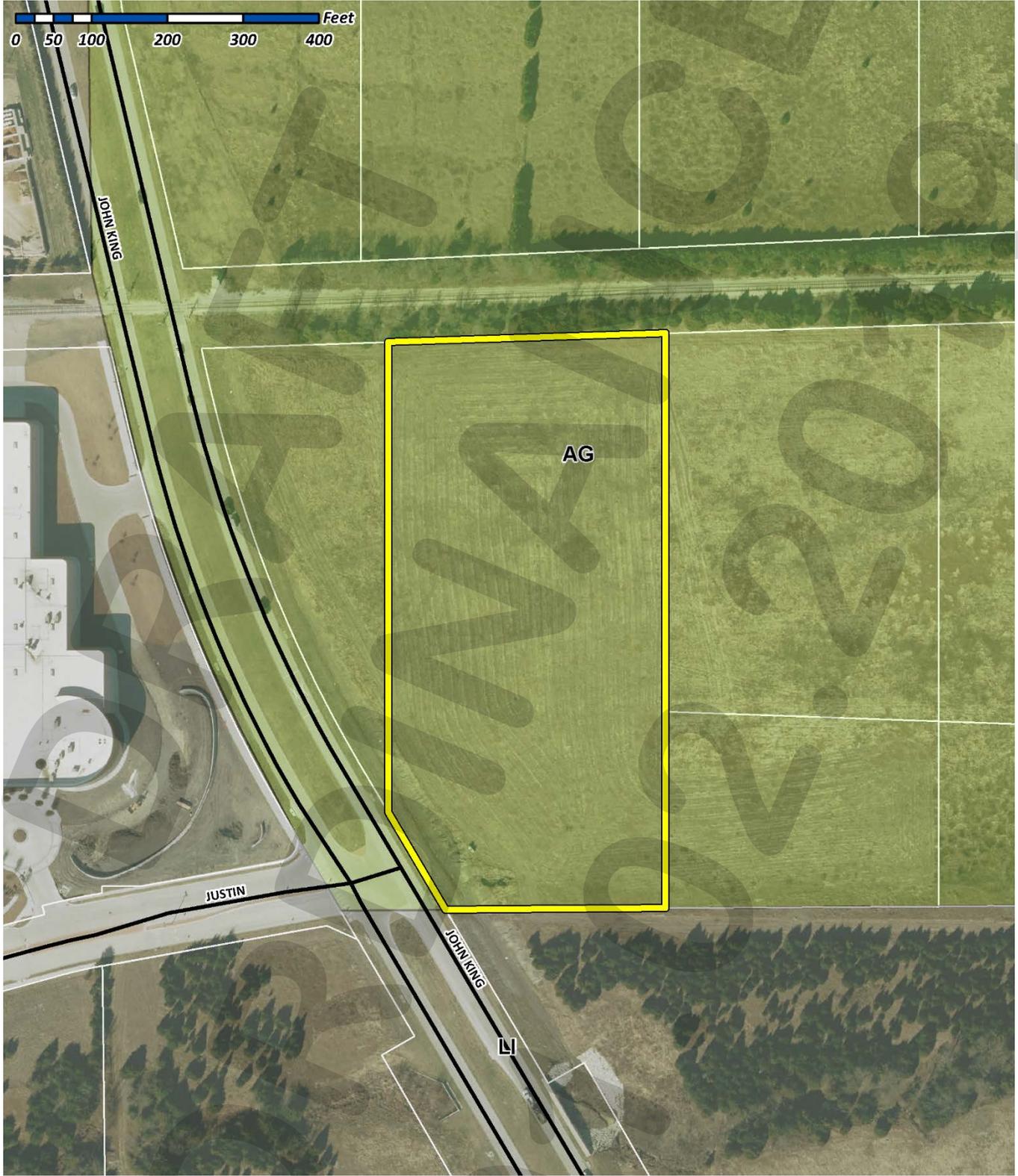


Exhibit 'B'
Legal Description

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 120, City of Rockwall, Rockwall County, Texas, and being a part of a 50 acres tract of land as described in a Warrantydeed to F.B. Athey, as recorded in Volume 42, Page 91 of the Deed Records of Rockwall County, Texas, and being a part of Tract B2 as described in a Deed to Bobby Frank Athey, as recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the south right-of-way line of M.K. & T. Railroad, said point being at the northwest corner of Tract B2, said point being N. 89 deg. 23 min. 21 sec. E, a distance of 360.54 feet from the intersection of the west boundary of said 50 acres and said railroad right-of-way;

THENCE N. 89 deg. 23 min. 21 sec. E. along said right-of-way line, a distance of 365.97 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 56 min. 05 sec. W. a distance of 732.64 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 08 min. 42 sec. W. a distance of 301.94 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner in the northeast right-of-way line of John King Boulevard, per Volume 5659, Page 39 of the Official Public Records of Rockwall County, Texas;

THENCE N. 29 deg. 20 min. 00 sec. W. along said right-of-way line, a distance of 126.54 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner;

THENCE N. 00 deg. 55 min. 26 sec. E. a distance of 613.93 feet to the POINT OF BEGINNING and containing 262,780 square feet or 6.03 acres of land.

City of Rockwall Project Plan Review History



Project Number Z2018-057	Owner COLUMBIA EXTRUSION	Applied 12/14/2018	LM
Project Name Amendment to PD-59	Applicant COLUMBIA EXTRUSION	Approved	
Type ZONING		Closed	
Subtype PD		Expired	
Status Staff Review		Status	
 Site Address 305 PARK PLACE		City, State Zip ROCKWALL, TX 75087	
 Subdivision PARK PLACE WEST PH II ADDITION		Tract 2	Block X
	Lot No 2	Parcel No 4621-000X-0002-00-OR	General Plan
			Zoning

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/18/2018	12/25/2018	12/18/2018		APPROVED	
ENGINEERING (12/27/2018 11:14 AM SH) - Lots will need to be replatted. - 4% engineering inspection fees. - Impact Fees. - Flood study and review retainer will be needed unless each lot has detention. - No walls to be smooth concrete. Walls 3' and over must be designed by an engineer.	Sarah Hager	12/14/2018	12/21/2018	12/27/2018	13	COMMENTS	
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	APPROVED	
PLANNING Z2018-057 Amendment to PD-59 Please address the following comments (M= Mandatory Comments; I = Informational Comments). I.1 This is a request by Bill Bricker of Columbia Development Company, LLC for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses being a 56.586-acre tract of land identified as a portion of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Planned Development District 59 (PD-59), located between W. Washington Street and T. L. Townsend Drive. I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (Z2018-057) in the lower right hand corner of all pages on future submittals. M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting. I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 2019. The Planning and Zoning Meeting for this case is January 15, 2019 2018. I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.	Korey Brooks	12/14/2018	12/21/2018	12/27/2018	13	COMMENTS	Comments

ZONING DESCRIPTION - PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 100, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 88.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 88°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°54'45" East a distance of 240.70 feet to fence post found (controling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Remfro Street;
 THENCE continuing along said Remfro Street North 101°3'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Remfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'58" West a distance of 208.56 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 69°05'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 88°50'03" East a distance of 300.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left; THENCE in a southeasterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 888.32 feet to a 1/2" pipe found for corner;
 THENCE departing said right-of-way North 04°28'08" West a distance of 134.73 feet to a fence post found for corner;
 THENCE South 85°54'51" West a distance of 210.88' to the POINT OF BEGINNING and containing 55.8 acres of land more or less.

ZONING DESCRIPTION - PD 52

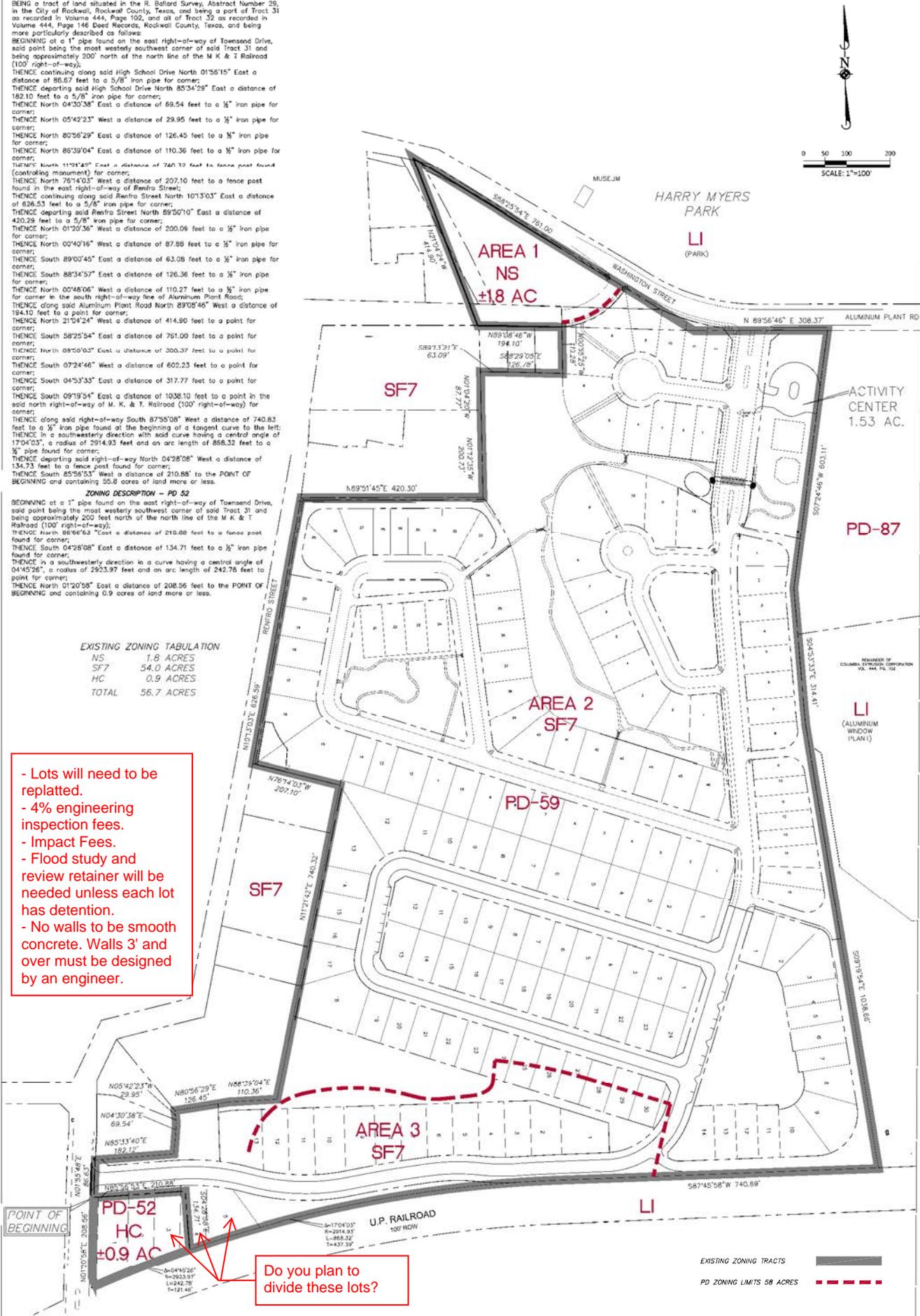
BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 100, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200 feet north of the north line of the M & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 210.88 feet to a fence post found for corner;
 THENCE South 04°28'08" East a distance of 134.71 feet to a 1/2" iron pipe found for corner;
 THENCE in a southeasterly direction in a curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to a point for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to the POINT OF BEGINNING and containing 0.9 acres of land more or less.

EXISTING ZONING TABULATION

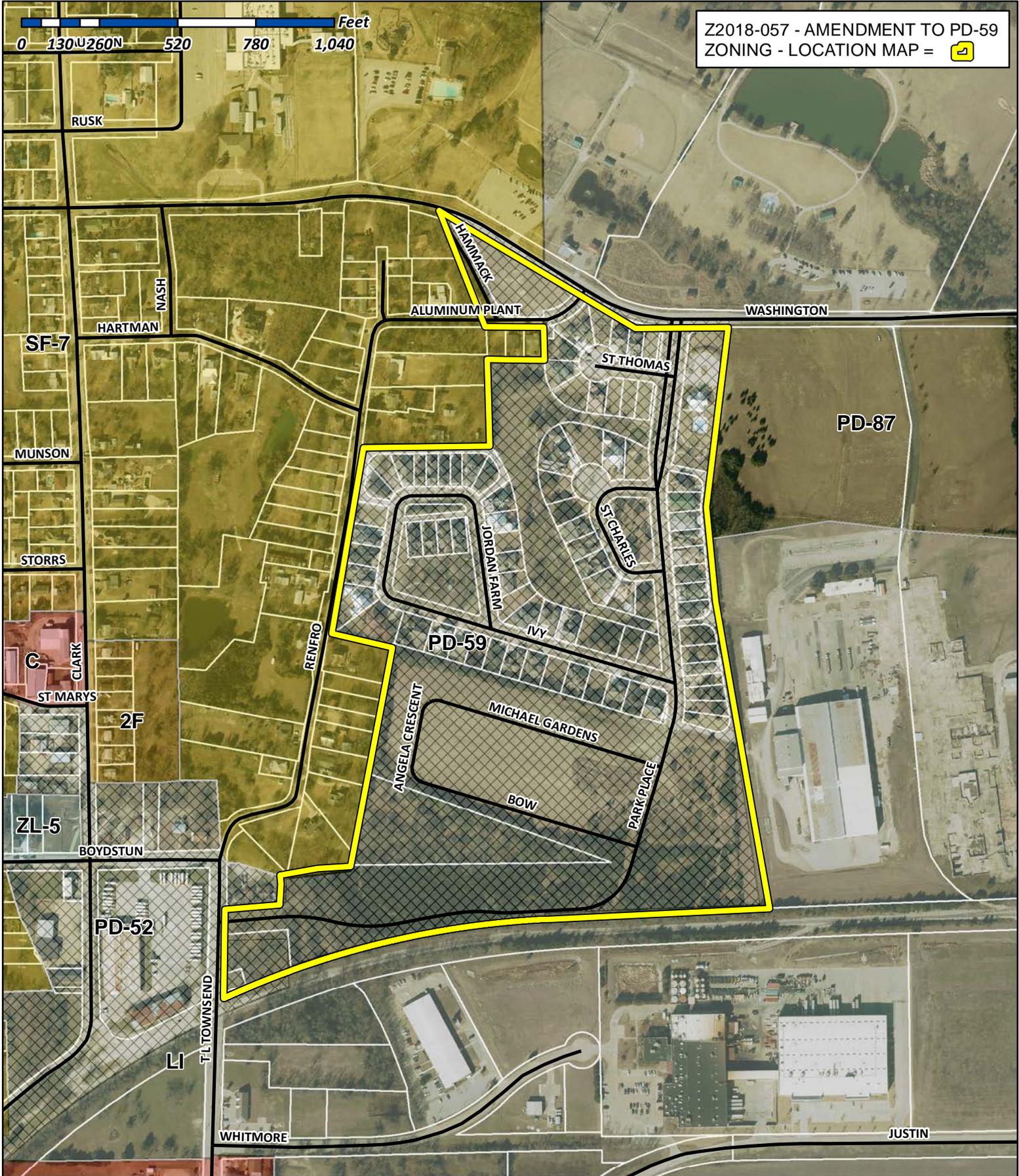
NS	1.8 ACRES
SF7	54.0 ACRES
HC	0.9 ACRES
TOTAL	56.7 ACRES

- Lots will need to be replatted.
- 4% engineering inspection fees.
- Impact Fees.
- Flood study and review retainer will be needed unless each lot has detention.
- No walls to be smooth concrete. Walls 3' and over must be designed by an engineer.

Do you plan to divide these lots?



EXISTING ZONING TRACTS
 PD ZONING LIMITS 58 ACRES



Z2018-057 - AMENDMENT TO PD-59
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
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 Rockwall, Texas 75032
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 (W): www.rockwall.com

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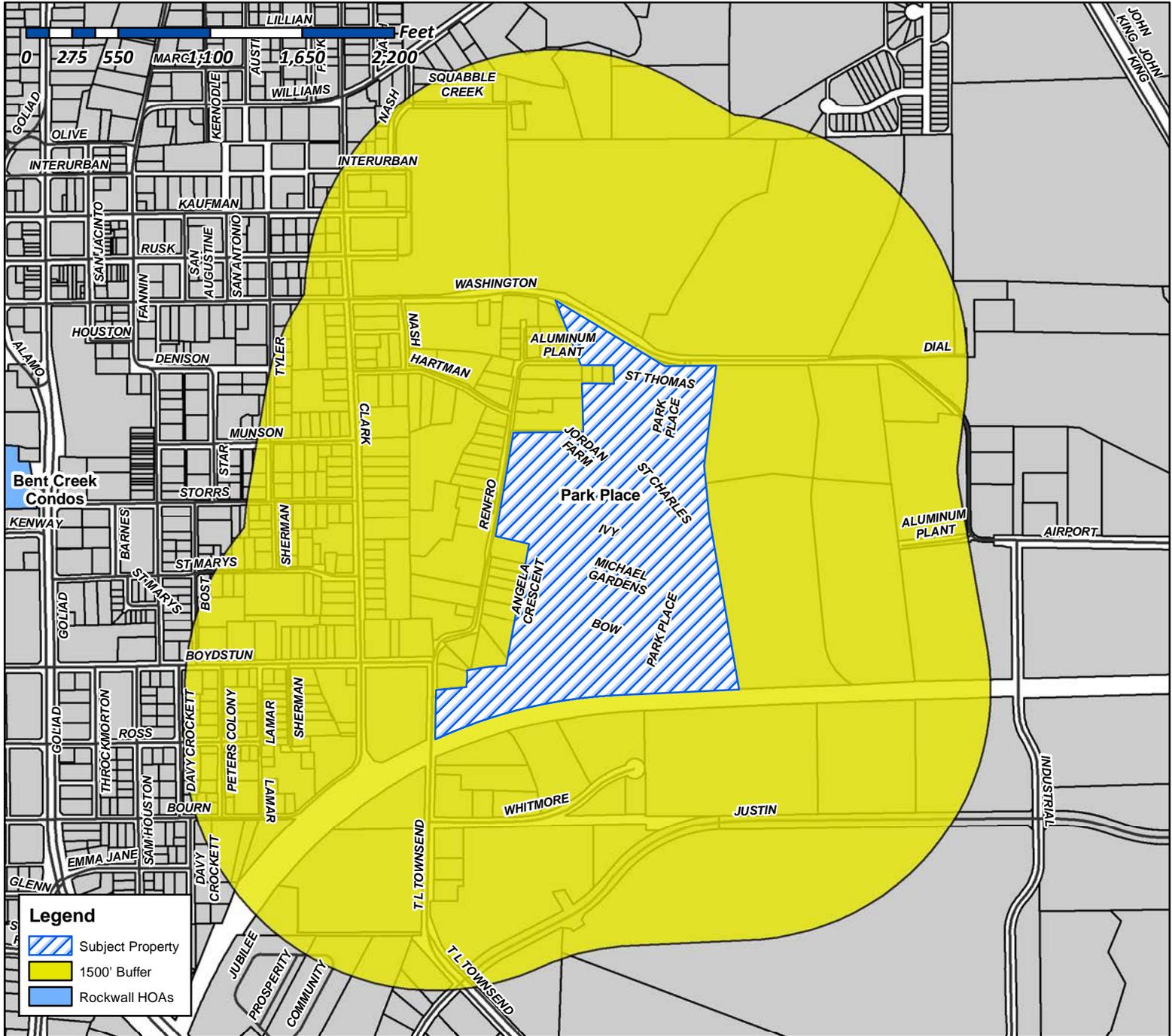
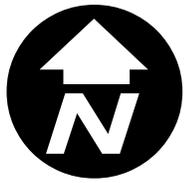




City of Rockwall

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Case Number: Z2018-057
Case Name: Amendment to PD-59
Case Type: Zoning
Zoning: PD-59 & PD-57
Case Address: Between W. Washington Street and T.L. Townsend Drive

Date Created: 12/17/2018
For Questions on this Case Call (972) 771-7745

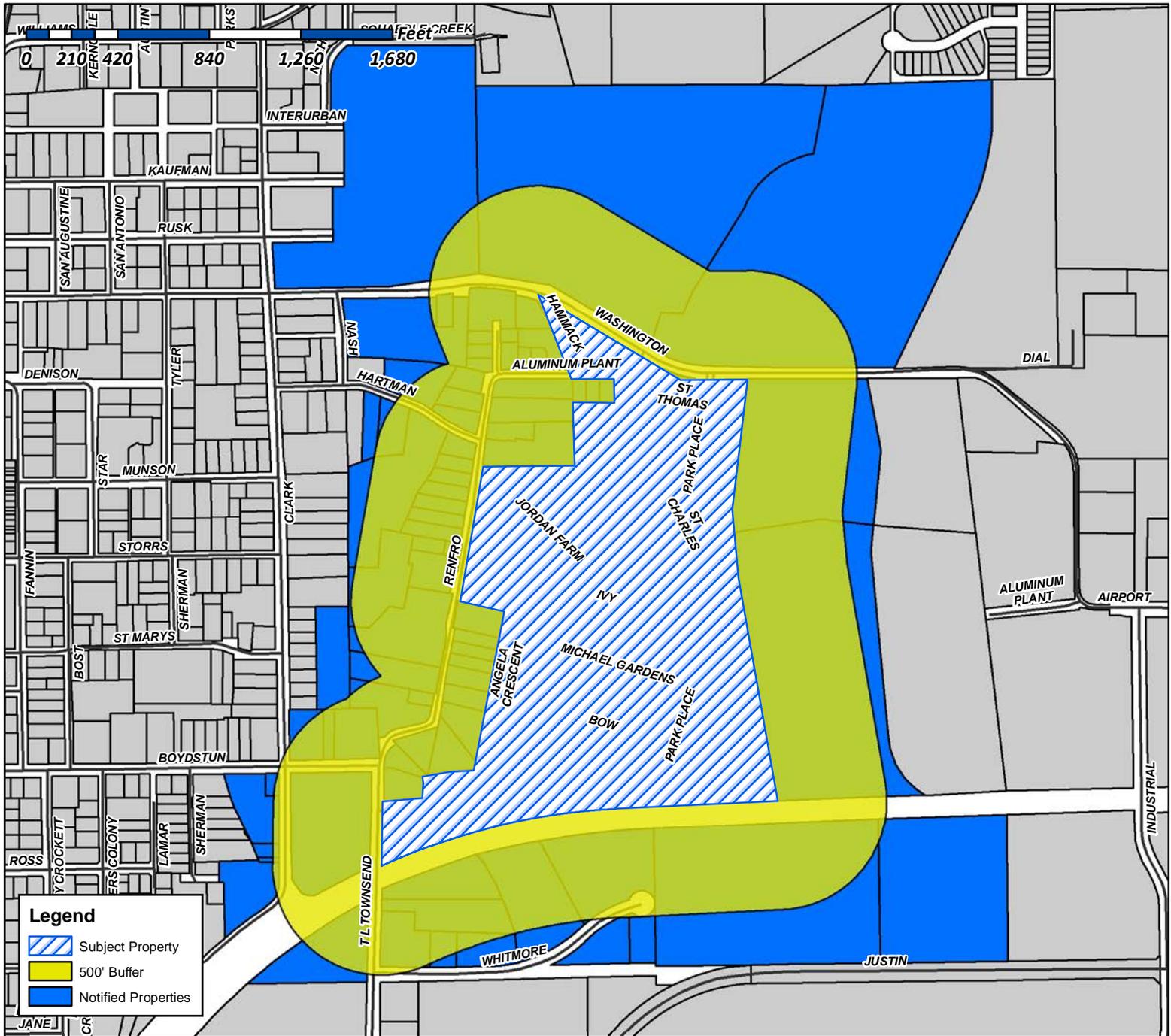
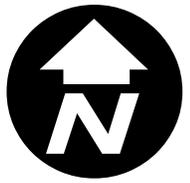




City of Rockwall

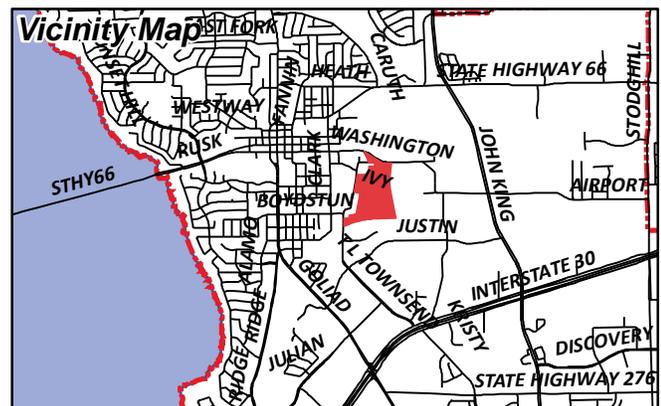
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Date Created: 12/17/2018
For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1001 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 ST CHARLES CT
ROCKWALL, TX 75087

TENNEY LYNN H III AND CHRISTINE L
1002 IVY LN
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA
1007 ST. CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1008 ST CHARLES CT
ROCKWALL, TX 75087

RIPP KEEGAN & NICOLA
1008 IVY LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 IVY LN
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 ST CHARLES CT
ROCKWALL, TX 75087

MOORE BECKY INEZ AND
CYNTHIA ANN HUDDLESTON
1014 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1015 ST CHARLES CT
ROCKWALL, TX 75087

BUCKNER DANA RENEE
1015 IVY LN
ROCKWALL, TX 75087

ARCHER ADAM AND SHAUNA
1020 IVY LANE
ROCKWALL, TX 75087

DAVID DAVID A AND CHRISTINE A
1020 SAINT CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 IVY LN
ROCKWALL, TX 75087

LEWIS WANDA C
1023 SAINT THOMAS CT
ROCKWALL, TX 75087

FECHT JARED W & JULIE
1026 IVY LN
ROCKWALL, TX 75087

YOUNG PHIL & KATHY
1026 SAINT CHARLES COURT
ROCKWALL, TX 75087

IVEY BRUCE AND TINA
1026 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1027 IVY LN
ROCKWALL, TX 75087

FOX DENNIS AND KAREN
1027 ST THOMAS CT
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

CONFIDENTIAL
1031 SAINT THOMAS COURT
ROCKWALL, TX 75087

JACKSON JOEY W AND ANITA L
1032 IVY LANE
ROCKWALL, TX 75087

FIELDS SHAY AND JONI
1032 ST CHARLES COURT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
EDWINA W EDWARDS TRUSTEE
1034 ST THOMAS CT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
EDWINA W EDWARDS TRUSTEE
1034 ST THOMAS CT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
EDWINA W EDWARDS TRUSTEE
1034 ST THOMAS CT
ROCKWALL, TX 75087

JOHNSON RICHARD ERIC AND DIANNA MUNRO
1035 SAINT THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1038 ST THOMAS CT
ROCKWALL, TX 75087

ALMQUIST DANA
1038 IVY LANE
ROCKWALL, TX 75087

BEER TERRY L AND
CYNTHIA OLSON
1039 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1040 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1042 ST THOMAS CT
ROCKWALL, TX 75087

SMITH TAMMY WILLIAMS AND RICHARD
1044 IVY LN
ROCKWALL, TX 75087

SMITH RICHARD AND TAMMY
1044 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1046 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1046 ST THOMAS CT
ROCKWALL, TX 75087

CONFIDENTIAL
1050 IVY LANE
ROCKWALL, TX 75087

HOULE GARY AND AYURNI NAKAMURA
114 MISCHIEF LN
ROCKWALL, TX 75032

TUCKER JANA
120 PLEASANT HILL LN
FATE, TX 75189

CURRENT RESIDENT
1200 E WASHINGTON
ROCKWALL, TX 75087

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

CURRENT RESIDENT
1250 JUSTIN RD
ROCKWALL, TX 75087

SOMMER RICHELLE AND RICHARD
131 COPTER LN
FATE, TX 75189

ARCHULETA JOSEPH AND KATHY
1403 ST THOMAS
ROCKWALL, TX 75087

CHADICK CABE
1403 WINDSOR DRIVE
MCKINNEY, TX 75070

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

TAH MS BORROWER LLC
C/O TRICON AMERICAN HOMES LLC
1508 BROOKHOLLOW DRIVE
SANTA ANA, CA 92705

VRANA MARK AND
PAM VRANA
1650 JOHN KING BLVD APT 3107
ROCKWALL, TX 75032

LAKEVIEW SUMMIT PROPERTIES LLC
1870 HILLCROFT DR
ROCKWALL, TX 75087

CURRENT RESIDENT
202 HAMMACK LN
ROCKWALL, TX 75087

CURRENT RESIDENT
202 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
203 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
204 RENFRO ST
ROCKWALL, TX 75087

CANNEDY ELIZABETH R AND RANDY D
206 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
207 S NASH ST
ROCKWALL, TX 75087

POWELL SEAN DAVID
208 DWYER CT
ROCKWALL, TX 75032

RIJU LTD PARTNERSHIP, A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

P & P ENTERPRISES
230 MYERS RD
HEATH, TX 75032

SHERMAN JOCELYN D
233 WILLINGHAM DR
COPPELL, TX 75019

JOE & DAVID TACOS LTD
2455 RIDGE RD #135
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL & CYNTHIA
256 WINDY LN
ROCKWALL, TX 75087

PIGEON MICHAEL AND COLLEEN
2603 W 10TH ST
DALLAS, TX 75211

CORDOSO FRANCISCO
2848 TANGLEGLEN DR
ROCKWALL, TX 75032

CURRENT RESIDENT
301 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

CHERRY JOHN T
303 RENFRO STREET
ROCKWALL, TX 75087

CURRENT RESIDENT
305 PARK PLACE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PRATER SAMUEL LEE AND LAUREN NICOLE
305 RENFRO ST
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
3150 HAYS LN
ROCKWALL, TX 75087

BUCHANAN DAVID
365 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

STRADTMANN TROY H
366 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
369 JORDAN FARM CIR
ROCKWALL, TX 75087

CLINE DAVID W AND INA L
373 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
374 RENFRO ST
ROCKWALL, TX 75087

JOHNSON JENNIFER
377 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
381 JORDAN FARM CIR
ROCKWALL, TX 75087

HALL JESSIE MARIE AND
JAMIE KATE HALL
382 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
385 JORDAN FARM CIR
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CAVAZOS BRUNO III AND STACI
389 JORDAN FARM CIR
ROCKWALL, TX 75087

PEURIFOY REBECCA
393 JORDAN FARM CIR
ROCKWALL, TX 75087

BIETENDORF GUY A AND CYNTHIA K
BIETENDORF
397 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
400 RENFRO ST
ROCKWALL, TX 75087

CLARK JERRY W & PAMELA
401 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
402 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
404 RENFRO ST
ROCKWALL, TX 75087

FREDERICK MARSHA
405 JORDAN FARM CIR
ROCKWALL, TX 75087

BARRON GARY S AND DELL S
405 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
406 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
408 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
408 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
410 RENFRO ST
ROCKWALL, TX 75087

KESSLAR MARILYNN
411 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

JONES KENNETH AND CINDY
411 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
412 RENFRO ST
ROCKWALL, TX 75087

FLYNT GARY & NANCY
414 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
417 JORDAN FARM CIR
ROCKWALL, TX 75087

COLBERT PHILIP AND MARGIE
417 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
420 JORDAN FARM CIR
ROCKWALL, TX 75087

HOWARD DALE E AND JOYCE
420 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

RADNEY STEPHEN P AND MARTHA M
423 JORDAN FARM CIR
ROCKWALL, TX 75087

STANLEY STEVE AND ROBIN
423 PARK PLACE BLVD
ROCKWALL, TX 75087

STANLEY STEVEN B AND ROBIN
423 PARK PLACE BLVD
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
425 E SOUTHLAKE BLVD #100
SOUTHLAKE, TX 76092

WALKER ANTHONY W AND JENNIFER
426 JORDAN FARM CIR
ROCKWALL, TX 75087

RADNEY FAMILY TRUST
STEPHEN P AND MARTHA RADNEY
429 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

MORGAN WILBUR J AND NANCY F
429 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
434 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
435 JORDAN FARM CIR
ROCKWALL, TX 75087

ROLLINS DANNY & JONNA
4505 LAKE HILL DR
ROWLETT, TX 75089

KRAEMER TERESA A
4525 COLE AVENUE #1105
DALLAS, TX 75205

CURRENT RESIDENT
500 RENFRO ST
ROCKWALL, TX 75087

LOVOI JOSEPH J SR AND VELMA J
501 PARK PLACE BLVD
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO STREET
ROCKWALL, TX 75087

CURRENT RESIDENT
507 RENFRO ST
ROCKWALL, TX 75087

RASMUSSEN MICHAEL AND DELILA RASMUSSEN
507 PARK PLACE BLVD
ROCKWALL, TX 75087

GARCIA MELISSA P AND
JOE DOWELL LOFTIS JR AKA JOE DOWELL LOFTIS
513 PARK PLACE BLVD
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G
5205 S FM 549
ROCKWALL, TX 75032

CURRENT RESIDENT
523 PARK PLACE BLVD
ROCKWALL, TX 75087

PROPER GROUP, LLC
5250 TX-78 SUITE 750-299
SACHSE, TX 75048

CURRENT RESIDENT
535 PARK PLACE BLVD
ROCKWALL, TX 75087

HENRY PATRICIA A
541 PARK PLACE BLVD
ROCKWALL, TX 75087

DUKE JERI L
5911 PINEY BIRCH COURT
KINGWOOD, TX 77345

CURRENT RESIDENT
601 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

HOGUE MARVIN E & JOYCE M
LIFE ESTATE
602 RENFRO ST
ROCKWALL, TX 75087

CONWAY MICHAEL AND JEAN
603 S GOLIAD ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
606 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
607 PARK PLACE BLVD
ROCKWALL, TX 75087

GOOD EARTH FUNDING INC
607 HIGHLAND COLONY PKWY SUITE 200
RIDGELAND, MS 39157

GOOD EARTH FUNDING INC
607 HIGHLAND COLONY PKWY SUITE 200
RIDGELAND, MS 39157

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

RUFF DAVE & ANNE
6105 LAKESHORE DR
ROWLETT, TX 75089

RUFF DAVID & ANNE
6105 LAKESHORE DR
ROWLETT, TX 75089

CURRENT RESIDENT
613 PARK PLACE BLVD
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO STREET
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

CURRENT RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

CURRENT RESIDENT
703 TOWNSEND DR
ROCKWALL, TX 75087

CURRENT RESIDENT
703 E BOYSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707 TOWNSEND
ROCKWALL, TX 75087

CURRENT RESIDENT
707 S CLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

CURRENT RESIDENT
720 E WASHINGTON
ROCKWALL, TX 75087

CURRENT RESIDENT
724 E WASHINGTON ST
ROCKWALL, TX 75087

DANIEL MICHAEL D
801 ALUMINUM PLANT RD
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

WISE ALICE
803 ALUMINUM PLANT ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
805 ALUMINUM PLANT RD
ROCKWALL, TX 75087

VARNER ROBERT R JR &
GLEN COX
815 TL TOWNSEND
ROCKWALL, TX 75087

POOL STOP INC
838 STEGER TOWN RD
ROCKWALL, TX 75032

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
886 IVY LN
ROCKWALL, TX 75087

OGDEN DONNA AND WENDELL
891 IVY LN
ROCKWALL, TX 75087

HARRILL EVELYN
892 IVY LN
ROCKWALL, TX 75087

RAGSDALE ELIZABETH J LIFE ESTATE
LISA JANE BAKER & DONALD KIRK RAGSDALE
895 IVY LN
ROCKWALL, TX 75087

MASON MARSHA
901 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
902 ALUMINUM PLANT RD
ROCKWALL, TX 75087

WILLMON WENDY LYNN
904 ALUMINUM PLANT RD
ROCKWALL, TX 75087

CURRENT RESIDENT
905 IVY LN
ROCKWALL, TX 75087

STATON CARL E & BOBBIE JANE
906 ALUMINUM PLANT RD
ROCKWALL, TX 75087

BENEDETTO MATT
907 W HOLIDAY RD
ROCKWALL, TX 75087

MOORE CONNIE JO
908 COUNTRY CLUB DR
HEATH, TX 75032

BUCHANAN BARRY D & MELISSA M
908 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
914 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
915 WHITMORE
ROCKWALL, TX 75087

CURRENT RESIDENT
920 WHITMORE
ROCKWALL, TX 75087

WHITMORE MANUFACTURING CO
930 WHITMORE DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
930/1250 JUSTIN RD
ROCKWALL, TX 75087

RUSHING JOE L & DONNA S
9414 SHEARER ST
ROWLETT, TX 75088

MARTIN CHARLES TED & RHONDA K
995 ST CHARLES CT
ROCKWALL, TX 75087

HITT FLOYD ESTATE
DOROTHY SUE HITT MATTHIES AND
LYNDEL RAY TIPTON JR INDEPENDENT CO
EXECUTORS 7836 YAMINI DR
DALLAS, TX 75230

COX STEPHEN
M/R
, TX

CCO TRANSFERS LLC
ATTN; PROPERTY TAX DEPT
P.O. BOX 7467
CHARLOTTE, NC 28241

CCO TRANSFERS LLC
ATTN; PROPERTY TAX DEPT
P.O. BOX 7467
CHARLOTTE, NC 28241

PODINA HERB AND LAURA
PO BOX 1586
ROCKWALL, TX 75087

ALLISON DEANNA JO
PO BOX 1624
ROCKWALL, TX 75087

MISHLER MICHAEL L AND RHONDA
PO BOX 38
ROCKWALL, TX 75087

DAVIS SHAUNTE AND JACOB
PO BOX 462311
GARLAND, TX 75046

HOWELL RONALD L AND MICHELE L
PO BOX 761
ROCKWALL, TX 75087

ZONING DESCRIPTION - PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:

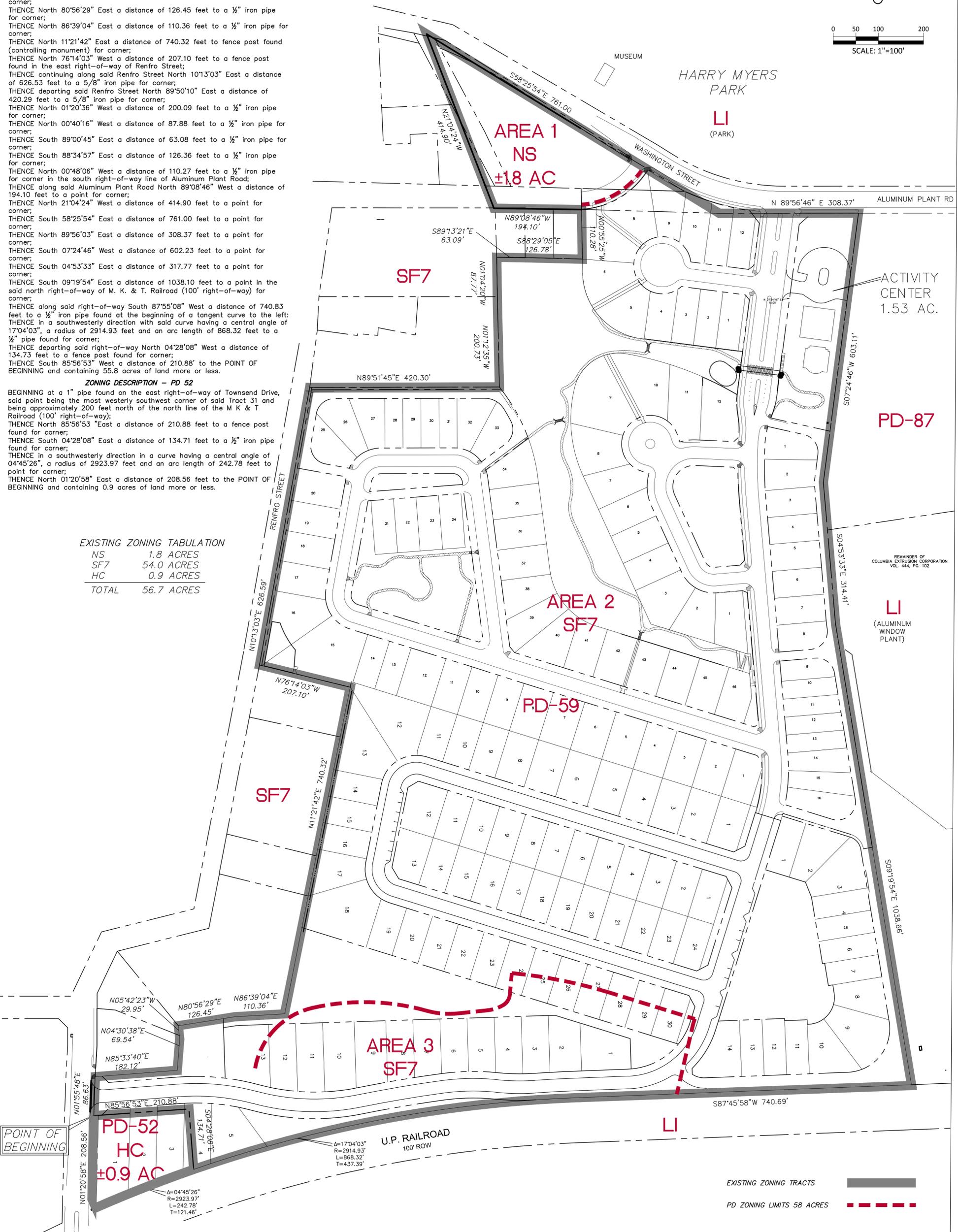
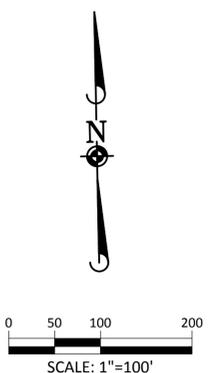
BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 86°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;
 THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'36" West a distance of 200.09 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 89°08'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left; THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a 1/2" pipe found for corner;
 THENCE departing said right-of-way North 04°28'08" West a distance of 134.73 feet to a fence post found for corner;
 THENCE South 85°56'53" West a distance of 210.88' to the POINT OF BEGINNING and containing 55.8 acres of land more or less.

ZONING DESCRIPTION - PD 52

BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200 feet north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE North 85°56'53" East a distance of 210.88 feet to a fence post found for corner;
 THENCE South 04°28'08" East a distance of 134.71 feet to a 1/2" iron pipe found for corner;
 THENCE in a southwesterly direction in a curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to point for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to the POINT OF BEGINNING and containing 0.9 acres of land more or less.

EXISTING ZONING TABULATION

NS	1.8 ACRES
SF7	54.0 ACRES
HC	0.9 ACRES
TOTAL	56.7 ACRES



EXISTING ZONING TRACTS
 PD ZONING LIMITS 58 ACRES

EX A

PARK PLACE
 PD 59
 ROCKWALL TEXAS
 EXISTING ZONING PLAN

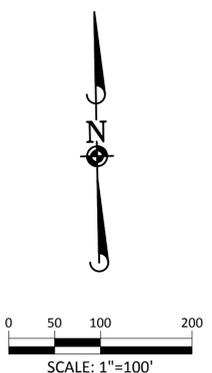


TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679-1679
 FIRM No. 19244 tjones@tomden.com

12.11.2018

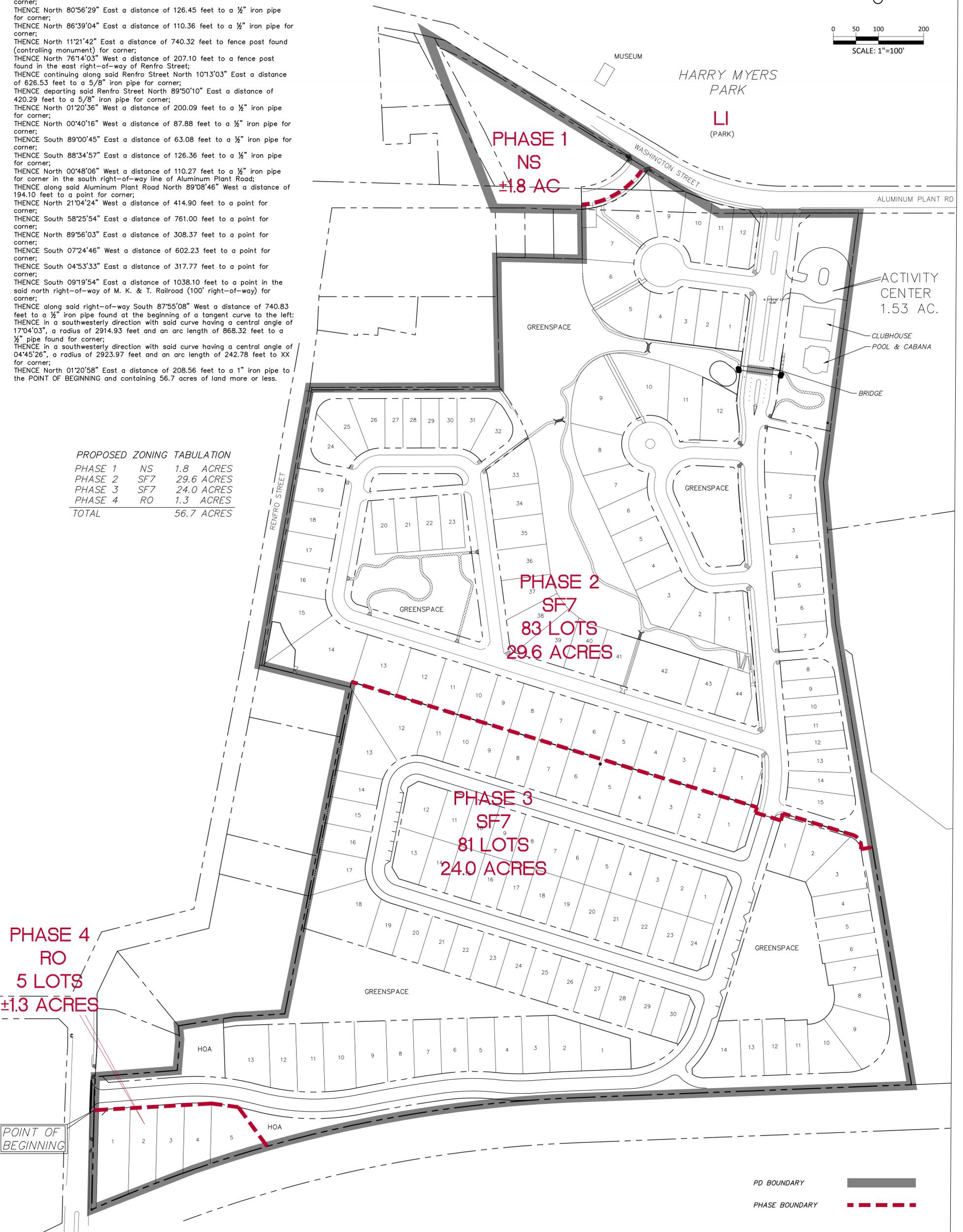
ZONING DESCRIPTION - REVISED PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 86°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;
 THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'36" West a distance of 200.09 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 89°08'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left;
 THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a 1/2" pipe found for corner;
 THENCE in a southwesterly direction with said curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to XX for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to a 1" iron pipe to the POINT OF BEGINNING and containing 56.7 acres of land more or less.



PROPOSED ZONING TABULATION

PHASE 1	NS	1.8	ACRES
PHASE 2	SF7	29.6	ACRES
PHASE 3	SF7	24.0	ACRES
PHASE 4	RO	1.3	ACRES
TOTAL		56.7	ACRES



EX B

PARK PLACE
 PD 59
 ROCKWALL TEXAS
 CONCEPT PLAN

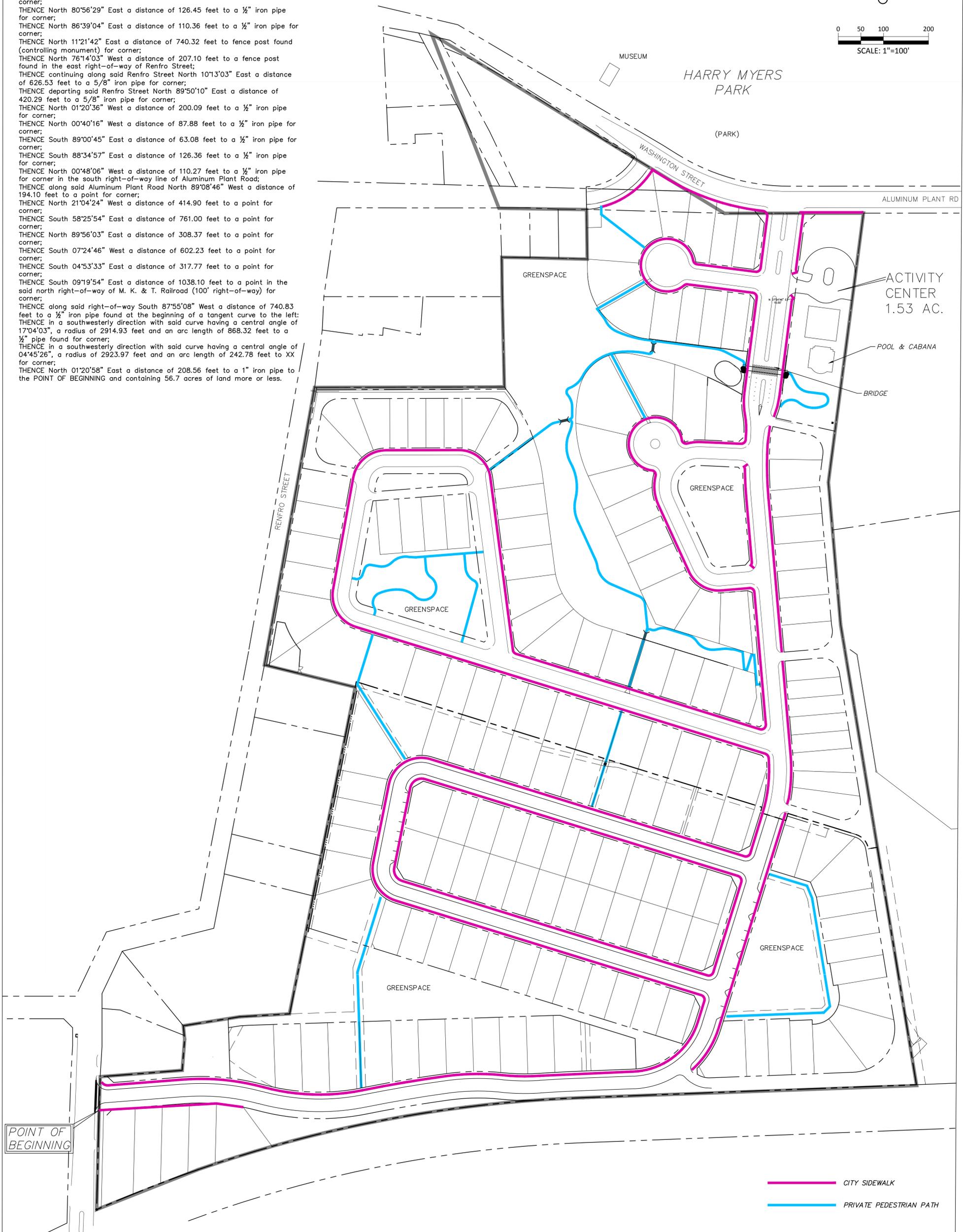
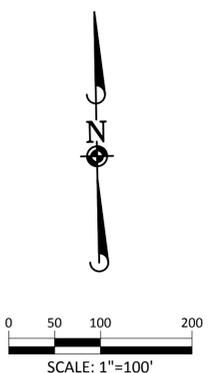


TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679 - 1679
 FIRM No. 19244 tjones@tomden.com

12.11.2018

ZONING DESCRIPTION - REVISED PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
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 THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 86°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;
 THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'36" West a distance of 200.09 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 89°08'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left;
 THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a 1/2" pipe found for corner;
 THENCE in a southwesterly direction with said curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to XX for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to a 1" iron pipe to the POINT OF BEGINNING and containing 56.7 acres of land more or less.



POINT OF BEGINNING

— CITY SIDEWALK
 — PRIVATE PEDESTRIAN PATH

EX C

PARK PLACE
 PD 59
 ROCKWALL TEXAS
 PEDESTRIAN PLAN



TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679 - 1679
 FIRM No. 19244 tjones@tomden.com

12.11.2018

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND PLANNED DEVELOPMENT DISTRICT 59 (PD-59) [ORDINANCE NO.'s 04-59 AND 6-51] AND PLANNED DEVELOPMENT DISTRICT 52 (PD-52) [ORDINANCE NO. 16-45] FOR THE PURPOSE OF INCORPORATING A 0.789-ACRE TRACT OF LAND FOR RESIDENTIAL-OFFICE (RO) DISTRICT LAND USES BEING A 56.586-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ZONED PLANNED DEVELOPMENT DISTRICT 52 (PD-52) AND PLANNED DEVELOPMENT DISTRICT 59 (PD-59) AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by the applicant Bill Bricker of Columbia Development Company, LLC, for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses, being a 56.586-acre tract of land identified as a portion of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) [Ordinance No. 16-45] and Planned Development District 59 (PD-59) [Ordinance No.'s 04-59 and 06-51], located between W. Washington Street and T. L. Townsend Drive and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 59 (PD-59) [Ordinance No.'s 04-59 and 06-51], Planned Development District 52 (PD-52) [Ordinance No. 16-45], and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No.'s 04-59 and 06-51;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 3. That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plan*, contained in Exhibit 'D' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'D', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in Exhibit 'F' of this ordinance, attached hereto and incorporated herein by

reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A':
Legal Description

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31, as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M K & T Railroad (100' right-of-way);

THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;

THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;

THENCE North 04°30'38" East a distance of 69.54 feet to a ½" iron pipe for corner;

THENCE North 05°42'23" West a distance of 29.95 feet to a ½" iron pipe for corner;

THENCE North 80°56'29" East a distance of 126.45 feet to a ½" iron pipe for corner;

THENCE North 86°39'04" East a distance of 110.36 feet to a ½" iron pipe for corner;

THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;

THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;

THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;

THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;

THENCE North 01°20'36" West a distance of 200.09 feet to a ½" iron pipe for corner;

THENCE North 00°40'16" West a distance of 87.88 feet to a ½" iron pipe for corner;

THENCE South 89°00' 45" East a distance of 63.08 feet to a ½" iron pipe for corner;

THENCE South 88°34'57" East a distance of 126.36 feet to a ½" iron pipe for corner;

THENCE North 00°48'06" West a distance of 110.27 feet to a ½" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;

THENCE along said Aluminum Plant Road North 89°08'46" West o distance of 194.10 feet to a point for corner;

THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;

THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;

THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;

THENCE South 07°24' 46" West a distance of 602.23 feet to a point for corner;

THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;

THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;

THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a ½" iron pipe found at the beginning of a tangent curve to the left;

THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a ½" pipe found for corner;

THENCE In a southwesterly direction with sold curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to XX for corner;

THENCE North 01°20'58" East a distance of 208.56 feet to a 1" iron pipe to the POINT OF BEGINNING and containing 56.7 acres of land more or less.

Exhibit 'C':
Area Map

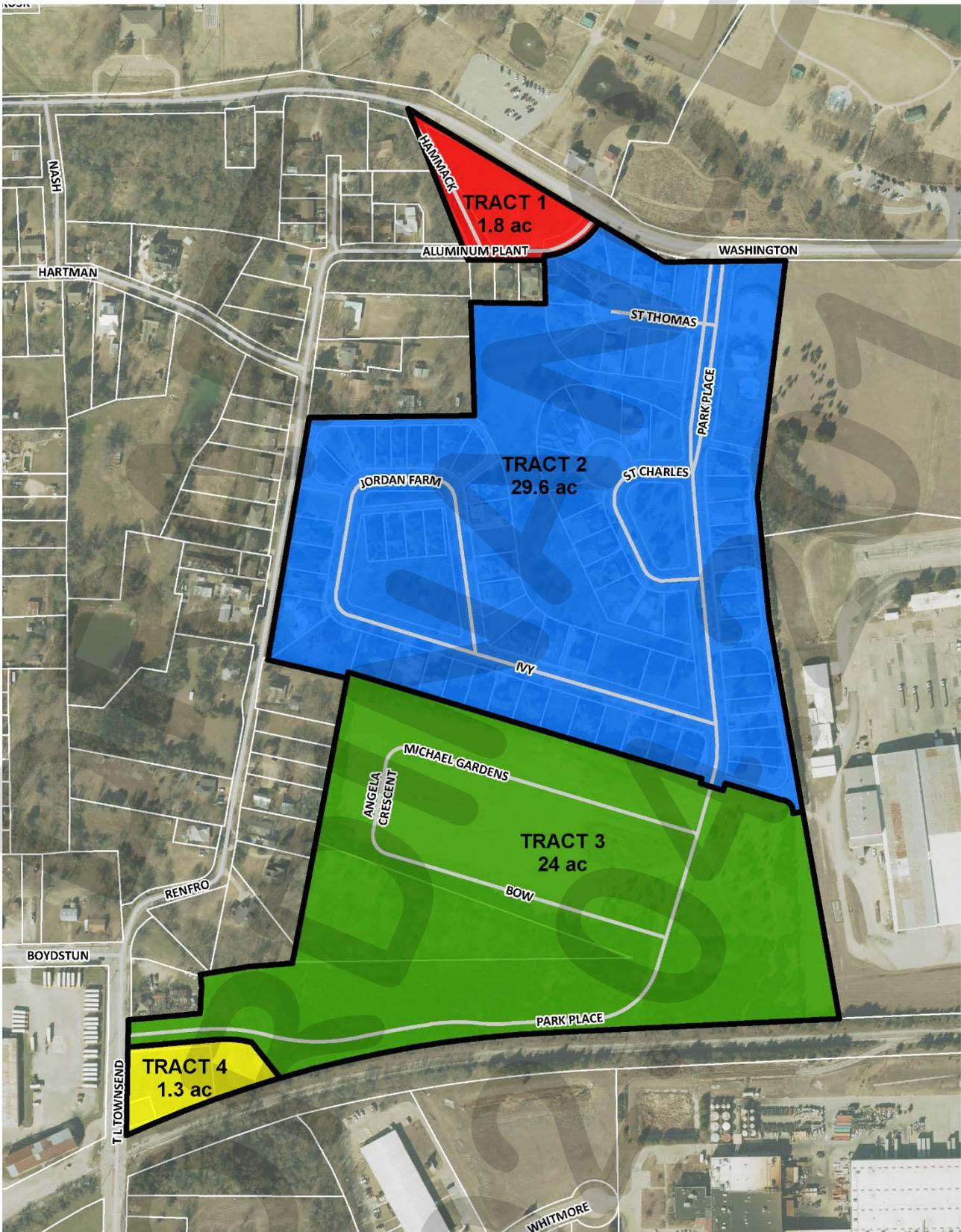


Exhibit 'D': Concept Plan

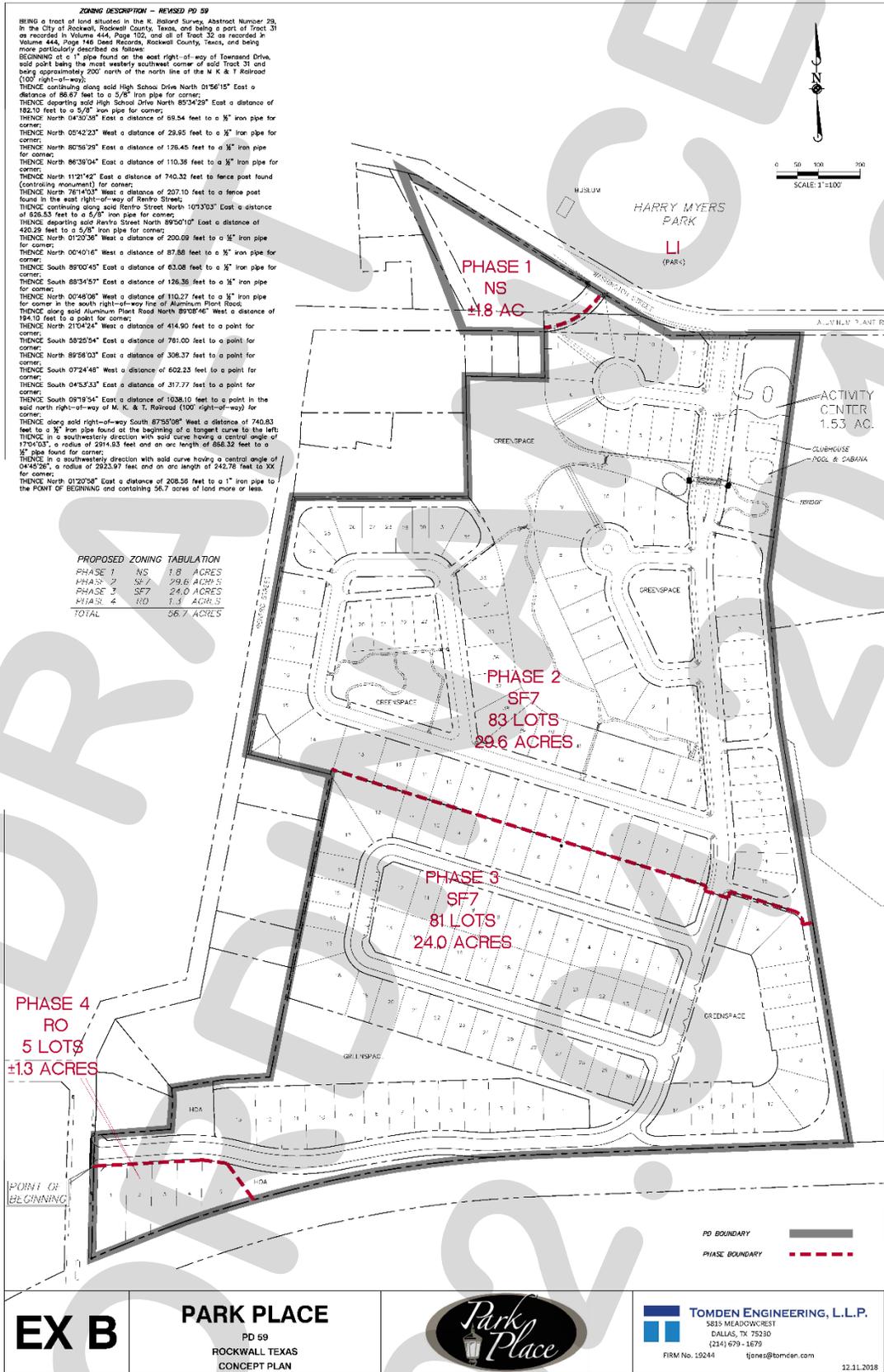


Exhibit 'E': Hardscape Plan

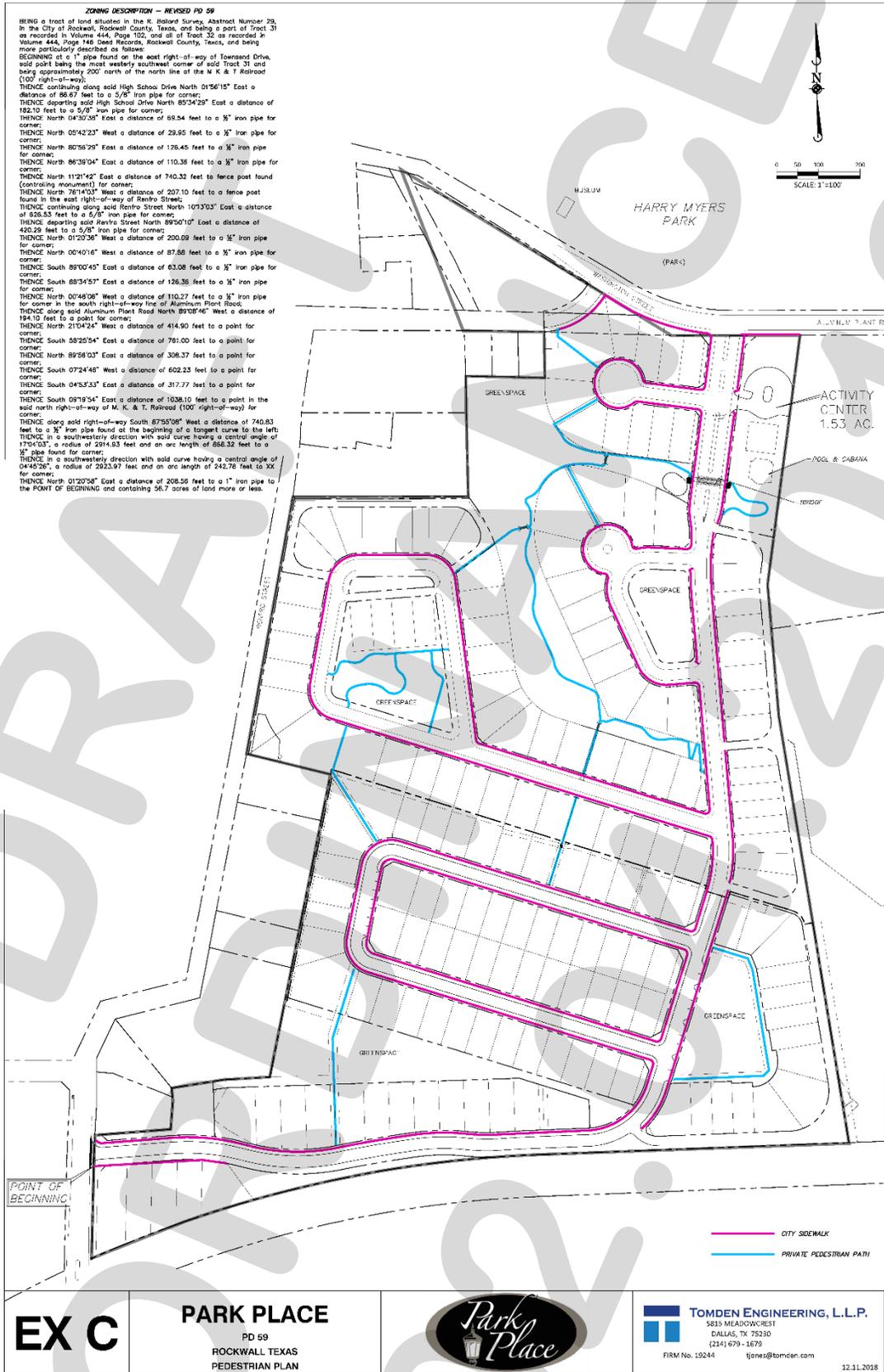


Exhibit 'F':
PD Development Standards

Phases 1-4 (56.586-Acres): Development Standards for all Phases

- (1) **Streetscape Standards.** The following aspects of development shall be reviewed in conjunction with a preliminary plat and/or site plan:
 - (a) **Street Lighting.** Street lighting shall be compatible with neo-traditional design methods, the Old Town Rockwall Historic District guidelines, and any proposed guidelines for the City's Downtown Plan.
 - (b) **Street Signage and Traffic Control.** Signage and traffic control methods shall be compatible with neo-traditional design and complement the surrounding historic areas of the City.
 - (c) **Street Sections.** A PD Development Plan shall include any alternative street and alley cross-sections, paving methods, use of street trees, and other proposed engineering details.
- (2) **Private Parks and Open Space.** Details for private parks and open space as indicated in *Exhibit 'B'* shall be subject to the following requirements and approved as part of the preliminary plat and/or site plan:
 - (a) A site/landscape plan for all open space, pocket parks, the community center, and trail systems. The development plan and/or preliminary plat shall also be reviewed by the City's Parks and Recreation Board.
 - (b) All city-required trails and public sidewalks shall be constructed with concrete and meet all City standards.
 - (c) Drainage area trails, which shall be maintained by the HOA, may be constructed with asphalt.
 - (d) The developer shall install a screening fence adjacent to the railroad along the south boundary of the subject property. The exact location, construction material(s), and height of the screening fence shall be reviewed and approved as part of the required site plan.
- (3) **Hardscape.** Hardscape plans--depicted in *Exhibit 'E'*--indicating the location of all sidewalks and trails shall be reviewed and approved with the preliminary plat and/or final plat.
- (4) **Fence Standards.** All fences shall be required to be wrought iron or tubular steel and vinyl shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height unless situated in the front yard. Front yard fences shall meet the following requirements:
 - (a) No front yard fences shall be located within a public right-of-way;
 - (b) The maximum height for a front yard fence is 42-inches (*i.e.* 3 ½ feet); and
 - (c) All front yard fences shall be open or *picket-style* fencing constructed of wrought iron, tubular steel, or vinyl.

Phase 1: Neighborhood Services (1.8-Acres)

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, *Phase 1* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Neighborhood Services (NS) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance*

Exhibit 'F':
PD Development Standards

- (2) *No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (3) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, *Phase 1* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards for the Neighborhood Services (NS) District as stipulated in Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future. All lots shall conform to the standards depicted in *Table 1*, which are as follows:

Table 1: Density and Dimensional Requirements

<i>Minimum Lot Width</i> ⁽¹⁾	60'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	6,000 SF
<i>Minimum Front Yard Setback</i> ⁽²⁾	15'
<i>Minimum Side Yard Setback</i>	20'
<i>Minimum Distance Between Buildings</i>	15'
<i>Maximum Height</i>	36'
<i>Minimum Rear Yard Setback</i>	20'
<i>Maximum Lot Coverage</i>	60%
<i>Maximum Building Size</i>	5,000 SF

General Notes:

¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.

²: The location of the *Front Yard Building Setback* as measured from the front property line.

- (4) *Building Standards.* All development shall be subject to site plan and Architectural Review Board (ARB) review and shall adhere to the following building standards:
 - (a) *Masonry Requirements.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or similar cementitious products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.
 - (b) *Roof Design Requirements.* All structures having a footprint of 6,000 SF or less shall be constructed with a pitched roof system.
 - (c) *Architectural Requirements.* All units shall be architecturally finished on all sides of the building that are visible from a public right-of-way or open space. This should include the detailing and features. This will be reviewed by the Architectural Review Board (ARB) for conformance.
- (5) *Landscape Buffer.* A minimum 10-foot landscape buffer shall be required along all street frontages. The buffer shall include a minimum of one (1) tree per 30 linear feet.
- (6) *Signage.* Permanent, free-standing signage for Phase 1 shall be limited to one (1) monument not exceeding five (5) feet in height or a maximum of 60 SF in area.
- (7) *Lighting.* In addition to the outdoor lighting requirements stipulated in Article VII, Environmental Performance, of the Unified Development Code (UDC), no light pole, pole base, or combination thereof shall exceed 20-feet in height. All lighting fixtures shall focus downward and be contained on the subject property

Exhibit 'F':
PD Development Standards

Phases 2 & 3: Single-Family 7 (53.6-Acres)

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, *Phases 2 & 3* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Single-Family 7 (SF-7) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (2) **Density and Dimensional Requirements.** Any development on *Phases 2 & 3* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards required for properties in a Single-Family 7 (SF-7) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.

Table 2: SF-7 Lot Dimensional Requirements

Minimum Lot Width ⁽¹⁾	40'
Minimum Lot Area	4,000 SF
Minimum Average Lot Area	7,000 SF
Minimum Front Yard Setback ^{(2) & (3)}	10'
Minimum Side Yard Setback ⁽⁴⁾	5'
Minimum Side Yard Adjacent to a Street	10'
Minimum Distance Between Buildings	15'
Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback ^(4, 5)	10'
Maximum Lot Coverage	60%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The minimum side yard setback for an internal lot or a lot abutting open space or HOA common area is five (5) feet. For yards abutting a street, the minimum side yard setback shall be 10-feet.
- ⁵: Lots with double frontage shall have a minimum rear yard setback of 15 feet.

- (3) **Building Standards.** Housing type and construction shall generally conform to the *Architectural Styles* depicted in *Exhibit 'G'* of this ordinance; however, all development shall adhere to the following building standards:
 - (a) **Masonry Requirements.** The minimum masonry requirement for all exterior façades (*excluding walls on a porch, patio, courtyard, or breezeway*) greater than 100 SF shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or similar cementitious products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.
 - (b) **Anti-Monotony.** An anti-monotony standard shall not allow the same structure—in terms of materials and elevation--any closer than five (5) houses apart on either side of the street.
 - (c) **Common Areas and Open Space.** All common areas, dedicated landscape easements, and open space areas shall be maintained by a Homeowner's Association, which shall be created subject to the requirements of the City's Subdivision Ordinance and filed prior to approval of the final plat(s)

Exhibit 'F':
PD Development Standards

- (d) *Guest Quarters/Secondary Living Unit.* A guest quarters/secondary living unit shall be permitted by-right within Phases 2 & 3 and subject to the following conditions:
- (i) Such quarters must be ancillary to the primary use;
 - (ii) The area of such quarters shall not exceed 30% of the area of the main structure;
 - (iii) The area of such quarters shall also conform to the maximum lot coverage for the overall lot;
 - (iv) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the *Subdivision Ordinance*; and
 - (v) Such quarters shall be designed for temporary occupancy or as a secondary living unit. These structures are not to be used as rental accommodations.
- (4) *Access.* Lots with rear yards that abut Renfro Street shall not have access from Renfro Street.

Phase 4: Residential-Office (1.3-Acres)

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development District Ordinance, *Phase 4* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Residential-Office (RO) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be expressly prohibited on the *Phase 4*:

- Accessory Building
- Bed and Breakfast
- Convent or Monastery
- Daycare (7 or more children)
- Residential Care Facility
- Assisted Living Facility
- Convalescent Care Facility/Nursing Home
- Congregate Care Facility
- General Retail Store*
- Group or Community Home
- Halfway House
- Library, Art Gallery, or Museum (Public)
- Restaurant, Less Than 2,000 SF w/o Drive-Thru
- Railroad Yard or Shop
- Studio-Art, Photography, or Music
- Shoe and Boot Repair and Sales
- Transit Passenger Facility
- Antenna, Accessory
- Antenna, Commercial
- Antenna, Amateur Radio
- Antenna, Dish
- Wireless Communication Tower
- Utilities (Non-Municipally Owned or Controlled), Including Sanitary Landfill and Wastewater Treatment
- Municipally Owned or Controlled Facilities, Utilities, and Use

Exhibit 'F':
PD Development Standards

*General Retail Store less than 2,000 SF shall be allowed by-right. General Retail Stores larger than 2,000 SF shall require a Specific Use Permit

The following land uses shall be permitted by Specific Use Permit (SUP) on the *Phase 4*:

- General Retail Store*
- Hair Salon, Manicurist
- Office Building, 5,000 SF or More
- Solar Energy Collector Panels and Systems

*General Retail Store less than 2,000 SF shall be allowed by-right. General Retail Stores larger than 2,000 SF shall require a Specific Use Permit

- (2) *Density and Dimensional Requirements.* Any development on *Phase 4* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards required for properties in a Residential-Office (RO) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development shall adhere to the following building standards:

Table 3. *Density and Dimensional Requirements*

<i>Minimum Lot Width</i> ⁽¹⁾	60'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	6,000 SF
<i>Minimum Front Yard Setback</i> ⁽²⁾	10'
<i>Minimum Side Yard Setback</i>	5'
<i>Minimum Distance Between Buildings</i>	15'
<i>Maximum Height</i> ⁽³⁾	36'
<i>Minimum Rear Yard Setback</i>	10'
<i>Maximum Lot Coverage</i>	60%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the residential-office structure.

- (3) *Building Standards. Building Standards.* Housing type and construction shall generally conform to the *Architectural Styles* depicted in *Exhibit 'G'* of this ordinance; however, all development shall adhere to the following building standards:

- (a) *Masonry Requirements.* The minimum masonry requirement for all exterior façades (*excluding walls on a porch, patio, courtyard, or breezeway*) greater than 100 SF shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or similar cementitious products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.
- (b) *Anti-Monotony.* An anti-monotony standard shall not allow the same structure—in terms of materials and elevation—any closer than five (5) houses apart on either side of the street.
- (c) *Common Areas and Open Space.* All common areas, dedicated landscape easements, and open space areas shall be maintained by a Homeowner's

Exhibit 'F':
PD Development Standards

Association, which shall be created subject to the requirements of the City's Subdivision Ordinance and filed prior to approval of the final plat(s).

- (d) *Guest Quarters/Secondary Living Unit.* A guest quarters/secondary living unit shall be permitted by-right within Phases 2 & 3 and subject to the following conditions:
 - (i) Such quarters must be ancillary to the primary use;
 - (ii) The area of such quarters shall not exceed 30% of the area of the main structure;
 - (iii) The area of such quarters shall also conform to the maximum lot coverage for the overall lot; and
 - (iv) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the *Subdivision Ordinance*.
 - (v) Such quarters shall be designed for temporary occupancy or as a secondary living unit. These structures are not to be used as rental accommodations.

- (4) *Access.* Lots with rear yards that abut Renfro Street shall not have access from Renfro Street.

- (5) *Parking Requirements.* Parking requirements for Phase 4 shall be all follows:
 - (a) Two (2) parking spaces per lot for single-family uses.
 - (b) One (1) additional space per 500 SF for non-residential uses as permitted by this ordinance. Off-site common or shared parking agreements shall be considered for Phase 4, subject the review of the proposed parking area(s) with the required development plan.

Exhibit 'G':
Conceptual Architectural Styles



City of Rockwall Project Plan Review History



Project Number Z2018-058	Owner BUFFALO, CREEK BUSINESS PARK LTD	Applied 12/14/2018 LM
Project Name SUP for a Craft Winery	Applicant TIM MCCALLUM	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status Staff Review		Status

Site Address 203 COUNTY LINE RD	City, State Zip ROCKWALL, TX 75032	Zoning
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Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	20-7	NULL	20-7	0080-0000-0020-07-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/14/2018	12/21/2018	12/18/2018	4	APPROVED	
ENGINEERING	Sarah Hager	12/14/2018	12/21/2018	12/20/2018	6	APPROVED	
(12/20/2018 2:38 PM SH) Any external improvements to increase parking or building will require engineering plans along with detention.							
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	COMMENTS	see notes
(12/19/2018 5:02 PM AA) Will need to update Certificate of Occupancy to reflect the new uses. A fire inspection will be required.							
PLANNING	David Gonzales	12/14/2018	12/21/2018	12/20/2018	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Hold a public hearing to discuss and consider a request by Tim McCallum of He Wines She Dines, LLC on behalf of Buffalo Creek Business Park, LTD for the approval of a Specific Use Permit (SUP) for a Craft Winery and Commercial Amusement/Recreation (Outdoor) on a 7.2-acre tract of land identified as Tracts20-01 & 20-7 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 203 County Line Road, and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES - 12.20.2018</p> <p>All staff comments are to be addressed/acknowledged and resubmitted by Thursday, January 4, 2019. Please provide two (2) copies [FOLDED] and one PDF version for a subsequent/final review by staff:</p> <p>Planning Department General Comments pertaining to the SUP Request</p> <ul style="list-style-type: none"> • On all future submittals please include the Case Number Z2018-058 on the lower right hand corner. • When provided, please review the SUP Draft Ordinance prior to the Planning & Zoning public hearing scheduled for January 15, 2019 and return with red lined corrections and/or additions you feel may be necessary for staff review. <p>** Planning Staff additional comments to be considered by the P&Z and City Council as conditions of approval:</p> <ol style="list-style-type: none"> 1. Approval of an SUP is required to allow the for the craft winery and commercial amusement/recreation (outdoor) use on the subject property. 2. Adherence to all Engineering, Building Inspection, and Fire Department standards shall be required. <p>*** Operational Conditions:</p> <p>Craft Winery:</p> <ol style="list-style-type: none"> 1) The maximum square footage of the building used for a winery shall not exceed 12,000 SF in total building area. 2) The areas dedicated to the direct sale of the on-site manufactured product shall not exceed 40% of the total floor area of the building. 3) The Subject Property shall not be used as a brewery (a facility used for the manufacturing, bottling, labeling and packaging of beer) or a distillery (a facility used for manufacturing of distilled beverages). 4) The hours of operation for this facility shall be limited to Sunday through Saturday 11:00 AM to 12:00 AM (i.e. midnight). 5) The Craft Winery operated on the Subject Property shall comply with all applicable ordinances of the City of Rockwall related to noise emanating from the Subject Property. <p>Commercial Amusement/Recreation (Outdoor)</p> <ol style="list-style-type: none"> 1) The development and operation of a commercial amusement/recreation (outdoor) use shall generally conform to the Concept Plan depicted in Exhibit 'B' of this

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
ordinance.						
2) The Subject Property may be used for all permitted accessory uses as well as the use of an outdoor venue that may include live music and food truck vendors as depicted in Exhibit 'B' of this ordinance. The use of temporary tents or similar uses must be made of fire retardant materials and meet the City's fire codes.						
3) The hours of operation associated with the outdoor venue for this facility shall be limited from Thursday through Monday 11:00 AM to 12:00 AM (i.e. midnight).						
4) There shall be no outside storage of equipment, furniture, or other materials associated with the operation of this business or from any outdoor gatherings on the subject property that may occur from time to time.						
5) No parking shall be permitted along County Line Road or Horizon Road[FM-3097] associated with the uses on the subject property.						
The following are scheduled meeting dates that you and/or your representative(s) should attend regarding the SUP request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745.						
*** Meeting Dates to Attend***						
Planning - Work Session: January 2, 2019 (6:00 p.m.) [applicant to present case to P&Z for discussion]						
Planning - Public Hearing: January 15, 2019 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny, etc.)]						
City Council - Public Hearing: January 22, 2019 (6:00 p.m.) [1st Reading of SUP Ordinance]						
City Council - Consent/Action Item: February 4, 2019 (6:00 p.m.) [2nd Reading of SUP Ordinance (if approved at 1st reading)]						



Z2018-058 - SUP FOR CRAFT WINERY AND COMMERCIAL AMUSEMENT (OUTDOOR) ZONING - LOCATION MAP =

PD-75

COUNTY LINE

Subject Property

C

HORIZON

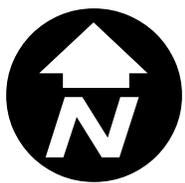
AG



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

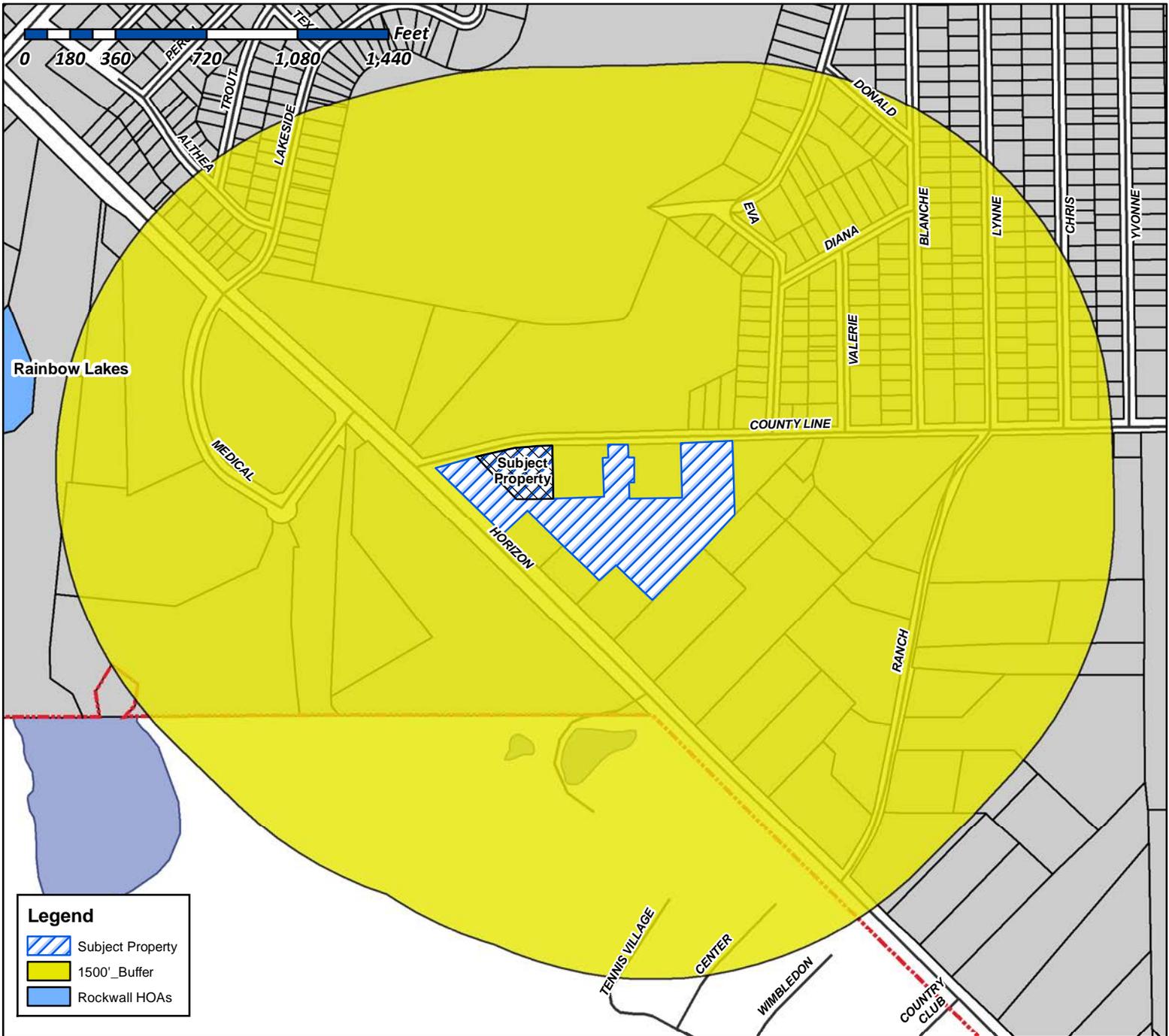




City of Rockwall

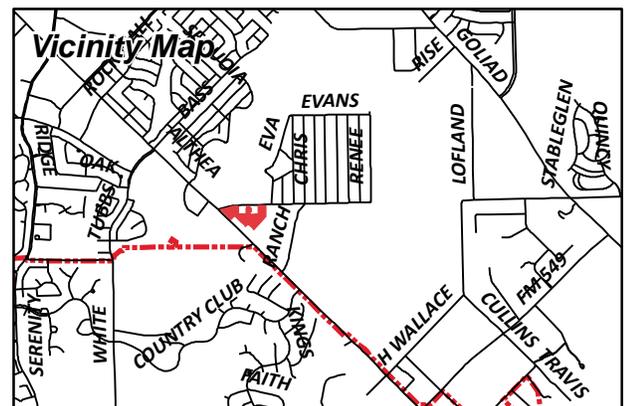
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2018-058
Case Name: SUP for a Craft Winery and Commercial Amusement (Outdoor)
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 203 County Line Road

Date Created: 12/18/2018
For Questions on this Case Call (972) 771-7745

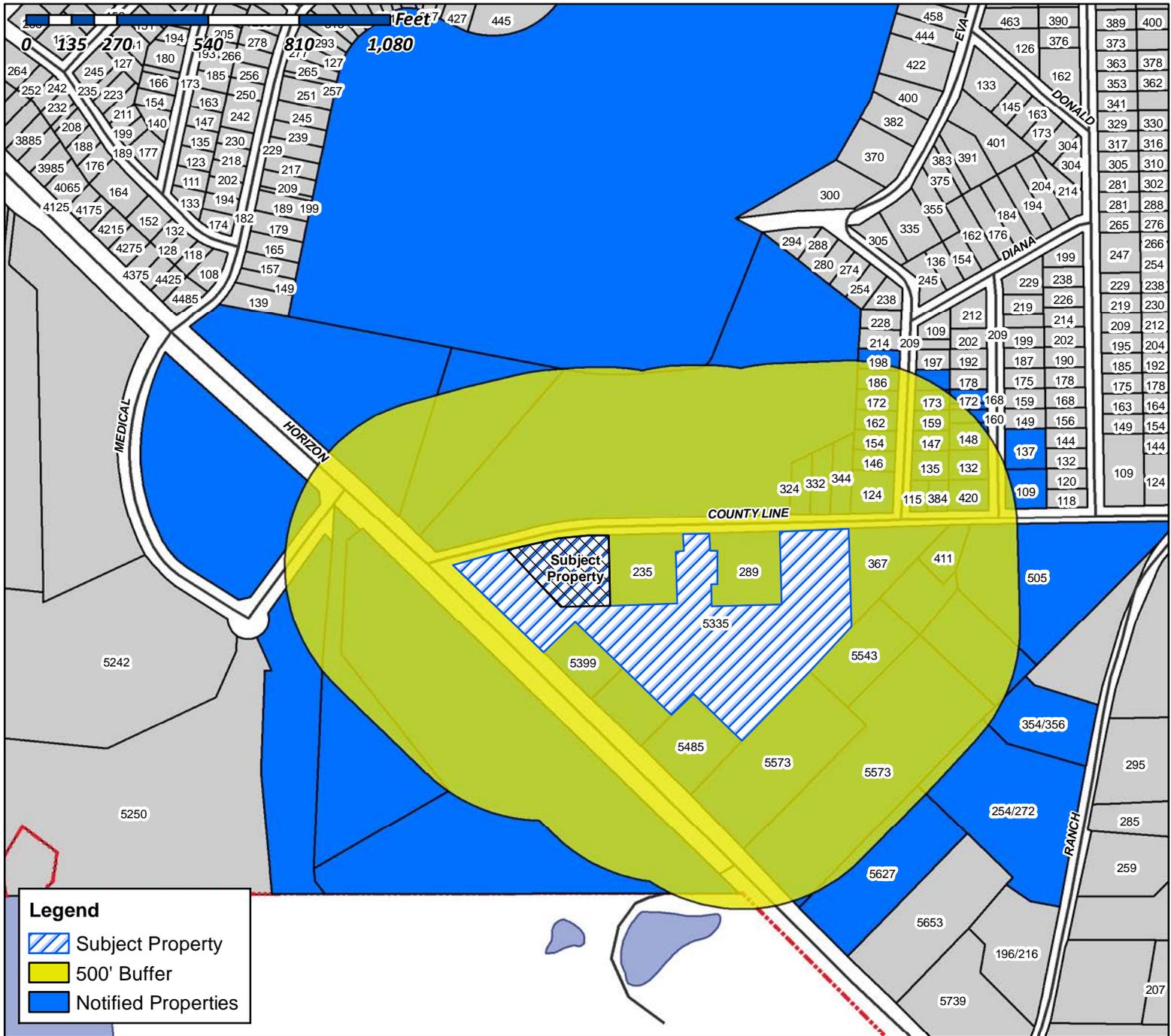
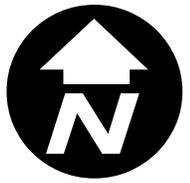




City of Rockwall

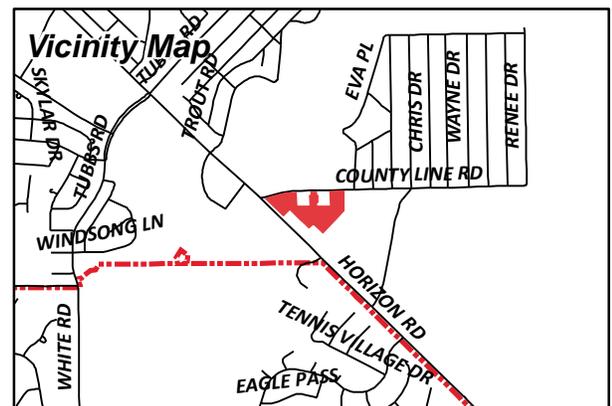
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WOLFORD BILLY E & KATHY
103 EAGLE NEST
MABANK, TX 75156

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
115 EVA PL
ROCKWALL, TX 75032

GRIZZEL ROYCE LEE JR
124 EVA PLACE
ROCKWALL, TX 75032

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX 75032

MONTELONGO MOISES
135 EVA PLACE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
137 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
146 EVA
ROCKWALL, TX 75032

CURRENT RESIDENT
147 EVA PL
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
154 EVA PL
ROCKWALL, TX 75032

MORALES RAMIRO JR
159 EVA PLACE
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

DEL RIO ALBERTO & MONICA
162 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
168 VALERIE PL
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75040

CURRENT RESIDENT
172 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
172 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
173 EVA PL
ROCKWALL, TX 75032

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

SILVA MARIA
186 EVA PL
ROCKWALL, TX 75032

ORTEGA RUBEN
187 EVA PL
ROCKWALL, TX 75032

BARRON BENICIO
195 ROSEMARIE DR
LEBANON, OH 45036

CONTRERAS MANUEL AND MARIA G
198 EVA PL
ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD
2324 EAST I 30
ROYSE CITY, TX 75189

BUFFALO CREEK BUSINESS PARK LTD
2324 W INTERSTATE 30
ROYSE CITY, TX 75189

CURRENT RESIDENT
235 COUNTY LINE RD
ROCKWALL, TX 75032

PATRIOT PAWS SERVICE DOGS
254 RANCH TRL
ROCKWALL, TX 75032

CURRENT RESIDENT
254/272 RANCH TRL
ROCKWALL, TX 75032

KELLY EDDY D & SHARON RENEE REV LIV TR
289 COUNTY LINE RD
ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ &
321 PANOLA CT
ROYSE CITY, TX 75189

CURRENT RESIDENT
324 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
332 COUNTY LINE RD
ROCKWALL, TX 75032

SILVA JUAN C
332 E LINDA LN
ROYSE CITY, TX 75189

CURRENT RESIDENT
344 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
354/356 RANCH TRL
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA
358 TROUT ST
ROCKWALL, TX 75032

RAMIREZ RAUL
358 TROUT ST
ROCKWALL, TX 75032

CURRENT RESIDENT
367 COUNTY LINE RD
ROCKWALL, TX 75032

RAMIREZ PETRA & JOSE ARTURO
384 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
405 CHATHAM ST
SUNNYVALE, TX 75182

CURRENT RESIDENT
411 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
420 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY 0
MCKINNEY, TX 75070

MARKSQUARED INVESTMENTS LLC
517 COYOTE RD
SOUTHLAKE, TX 76092

CURRENT RESIDENT
5335 FM3097
ROCKWALL, TX 75032

KELLY REX ALLEN
5399 FM 3097
ROCKWALL, TX 75032

KELLY A R
5485 FM 3097
ROCKWALL, TX 75032

RANGELL JUAN JOSE
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

CURRENT RESIDENT
5543 FM3097
ROCKWALL, TX 75032

MATTHEWS GERALD W & DONNA C
5550 HORIZON RD
ROCKWALL, TX 75032

CURRENT RESIDENT
5573 FM3097
ROCKWALL, TX 75032

ALONZO JOSE O
5627 HORIZON RD
ROCKWALL, TX 75032

JWS LAND LTD
5900 S LAKE FOREST DR 0
MCKINNEY, TX 75070

GAMEZ DAVID
614 E BOYDSTUN ST
ROCKWALL, TX 75087

JERRY KISICK CUSTOM HOMES INC
6505 W PARK BLVD 0
PLANO, TX 75093

FINCHER LINDA
916 BROWNFIELD
MESQUITE, TX 75150

NORTH TEXAS MUNICIPAL WATER DIST
P O BOX 2408
WYLIE, TX 75098

PEOPLES BILLY
P O BOX 35
ROCKWALL, TX 75087

NORTH TEXAS MUNICIPAL WATER DIST
PO BOX 2408
WYLIE, TX 75098



To Whom It May Concern:

He Wines She Dines began as a food review and blog website in 2014. We are a husband and wife team that travels the world looking for the best places to eat, drink and enjoy time together! After garnering thousands of followers, we had so many people asking us about wines to drink, what to buy, and how to order, that we decided we would start a wine club. Pursuing that effort, we quickly realized we needed to be a winery to ship product to our followers. With that in mind, we got our federal winery permit and import license and begin working with wineries in California and France to produce amazing wines to bring to Rockwall. We began operating in the Fall of 2016 at 203 County Line Rd, Rockwall, TX 75032. Until the Fall of 2018, we had never been open to the public. We are predominately an online business that sells to individual members through an e-commerce business model and directly to restaurants. To date, 100% of our production has been done in either Lodi, California or Champagne, France. Additionally, we buy wines from other distributors and wineries to offer a diverse mix of high-quality wines to our members.

In October of 2018, we began hosting a series of periodic "warehouse sales and tastings". During these periodic Saturday events we have been open for limited hours(12-5pm) for patrons to come, try and purchase our wines at lower than retail prices. We have only hosted 3 events this year and they have been very well received.

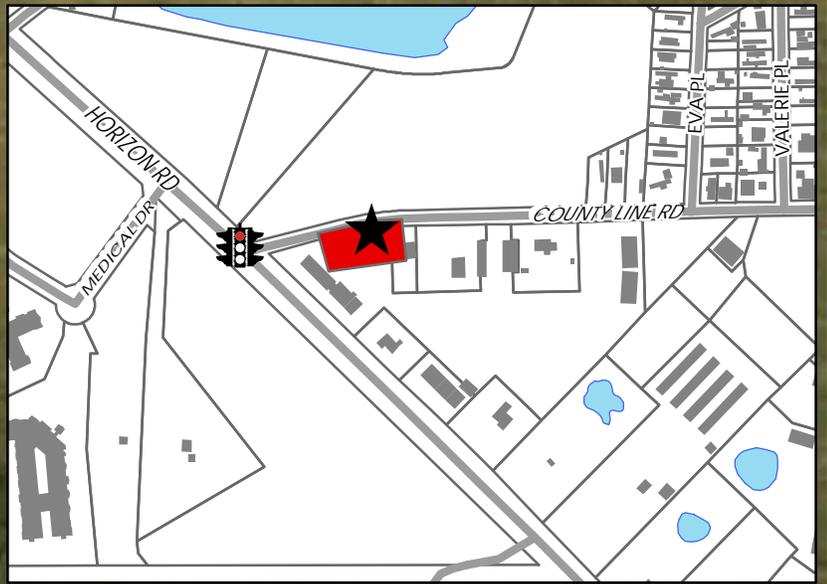
Moving forward we need a SUP for two primary reasons. First, we are preparing to begin limited production runs, barrel storage and some blending operations at our facility. A new SUP is required for this. Second, we want to expand our ability to have tastings and host events at our facility. These events would be limited in scope, but would potentially include live music, food trucks and seating areas for patrons to enjoy our wines. During these events, the guest area would be contained with a temporary barrier. We may use temporary tents or other covers, umbrellas, etc. for sun and rain protection. We plan to keep a conservative schedule but would like for these events to be held on nights, weekends and holidays ranging from Thursdays-Sundays with occasional Mondays or key National holidays. Our maximum operating hours would be between 11am-12am. No equipment, furniture or materials would be stored outside of the facility.

Thank you for your consideration and Cheers!

Tim and Jennifer McCallum
He Wines She Dines

Legend

- Seating Area
- Music
- Food Vendors
- Event Area
- Overall Site



HE WINE'S SHE DINES, LLC

203 COUNTY LINE RD.

RockWALL TX, 75032

Sqft: 1,250



CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *CRAFT WINERY AND COMERCIAL AMUSEMENT/RECREATION (OUTDOOR)* ON A 7.2-ACRE TRACT OF LAND, ADDRESSED AS 203 COUNTY LINE ROAD AND BEING IDENTIFIED AS TRACTS 20-01 & 20-07 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Tim McCallum of He Wines She Dines, LLC for the approval of a Specific Use Permit (SUP) for a *Craft Winery and Commercial Amusement/Recreation (Outdoor)* for the purpose of establishing a *Craft Winery* in conjunction with an outdoor venue on a 7.2-acre Tract of land, zoned Commercial (C) District, being identified as Tract 20-01 & 20-07 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, addressed as 203 County Line Road, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Craft Winery and Commercial Amusement/Recreation (Outdoor)* as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*, and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 1.1, Land Use Schedule*, of Article IV, *Permissible Uses*, and *Section 4.5, Commercial (C) District*, of Article V, *District Development Standards*, of the Unified

Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Craft Winery* and *Commercial Amusement/Recreation (Outdoor)* use on the *Subject Property* and conformance to these requirements is necessary for continued operations:

Craft Winery:

- 1) The maximum square footage of the building used for a winery shall not exceed 12,000 SF in total building area.
- 2) The areas dedicated to the direct sale of the on-site manufactured product shall not exceed 40% of the total floor area of the building.
- 3) The *Subject Property* shall not be used as a brewery (*a facility used for the manufacturing, bottling, labeling and packaging of beer*) or a distillery (*a facility used for manufacturing of distilled beverages*).
- 4) The hours of operation for this facility shall be limited to Sunday through Saturday, 11:00 AM to 12:00 AM (*i.e. midnight*).
- 5) The *Craft Winery* operated on the *Subject Property* shall comply with all applicable ordinances of the City of Rockwall related to noise emanating from the *Subject Property*.

Commercial Amusement/Recreation (Outdoor)

- 1) The development and operation of a *commercial amusement/recreation (outdoor)* use shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Subject Property* may be used for all permitted accessory uses as well as the use of an *outdoor venue* that may include live music and food truck vendors as depicted in *Exhibit 'B'* of this ordinance. The use of temporary tents or similar uses must be made of fire retardant materials and meet the City's fire codes.
- 3) The hours of operation associated with the *outdoor venue* for this facility shall be limited from Thursday through Monday, 11:00 AM to 12:00 AM (*i.e. midnight*).
- 4) There shall be no outside storage of equipment, furniture, or other materials associated with the operation of this business or from any outdoor gatherings on the subject property that may occur from time to time.
- 5) No parking shall be permitted along County Line Road or Horizon Road [FM-3097] associated with the uses on the subject property.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A':

Legal Description: Tracts 20-01 & 20-7 of the W.W. Ford Survey, Abstract No. 80

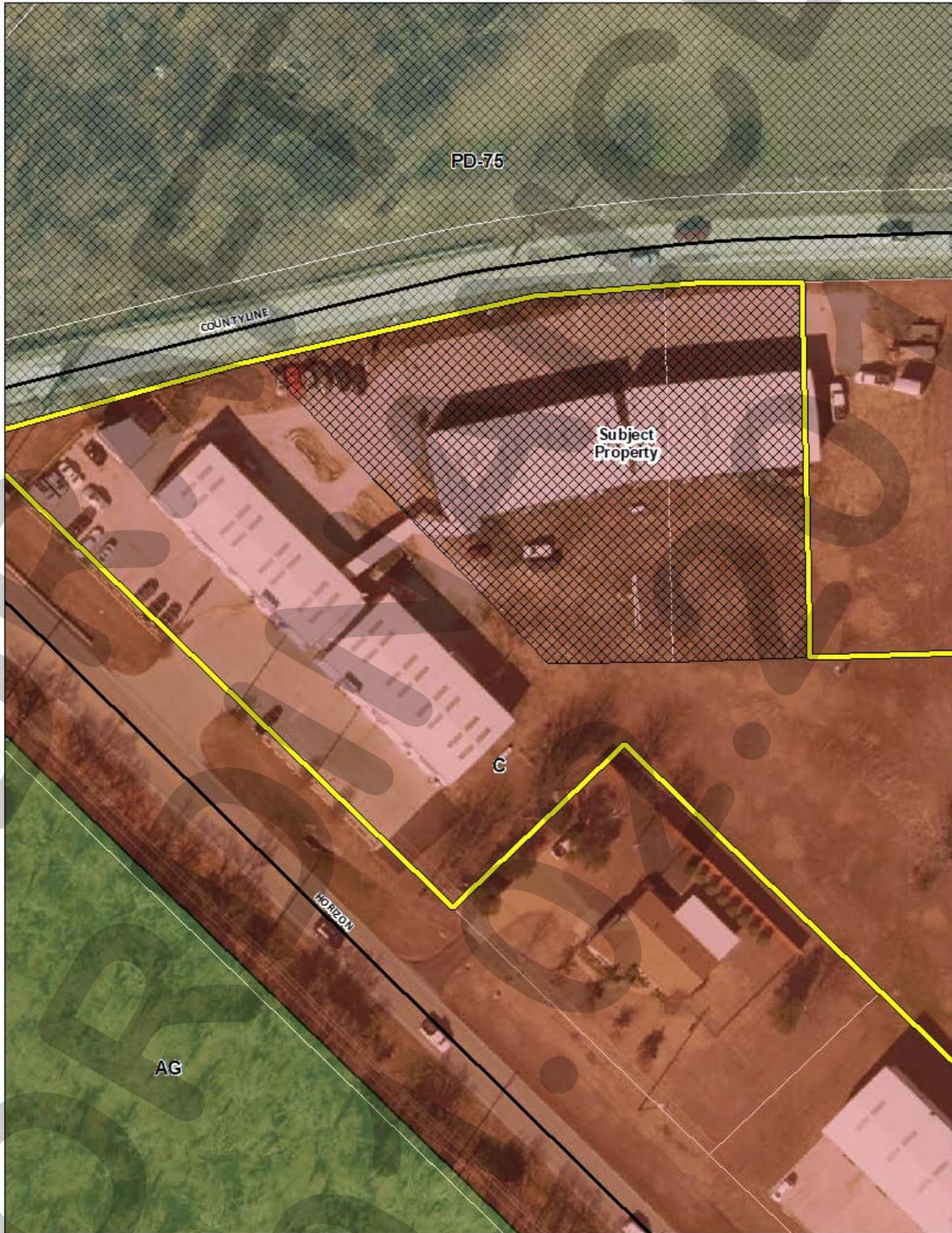
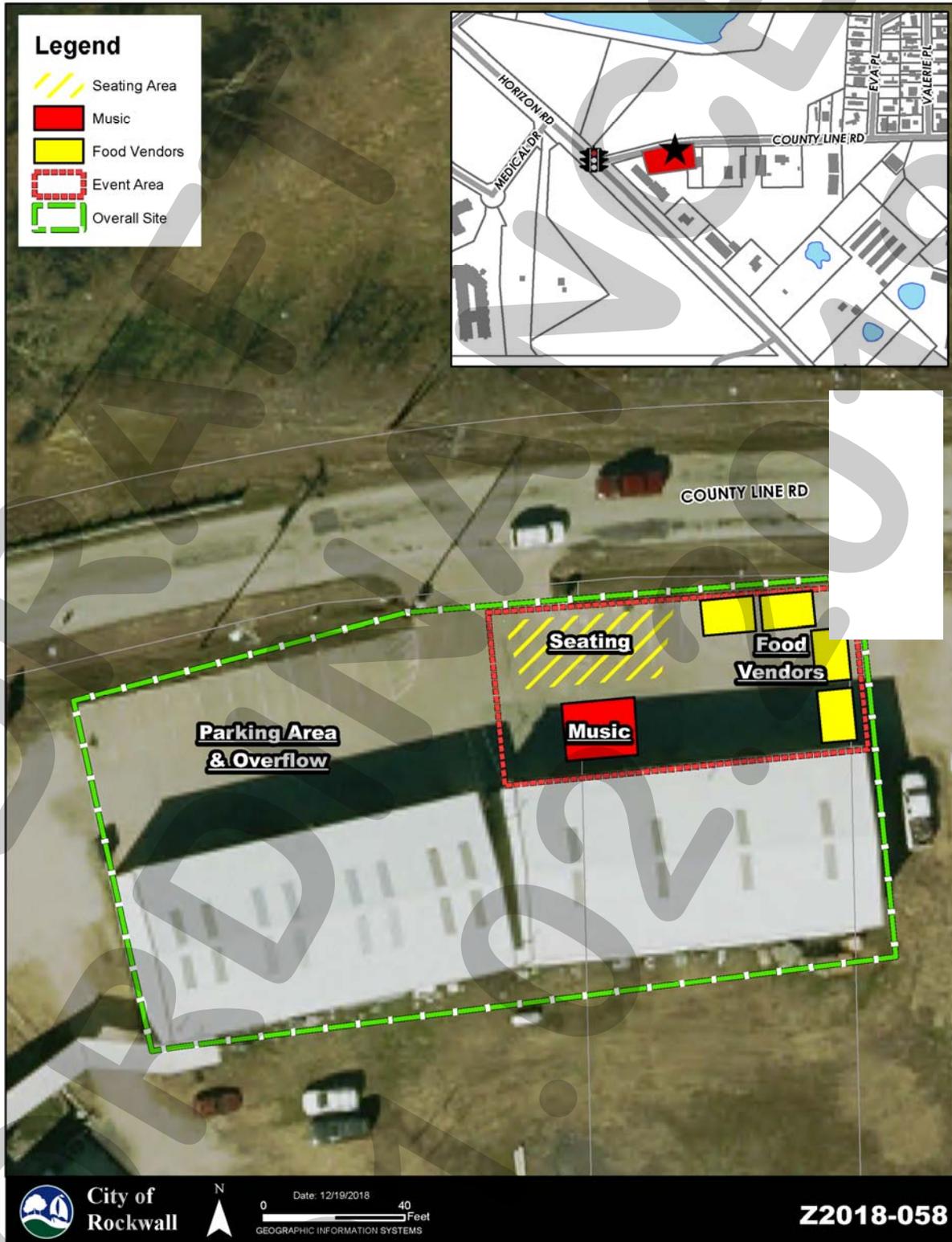


Exhibit 'B':
Concept Plan



City of Rockwall Project Plan Review History



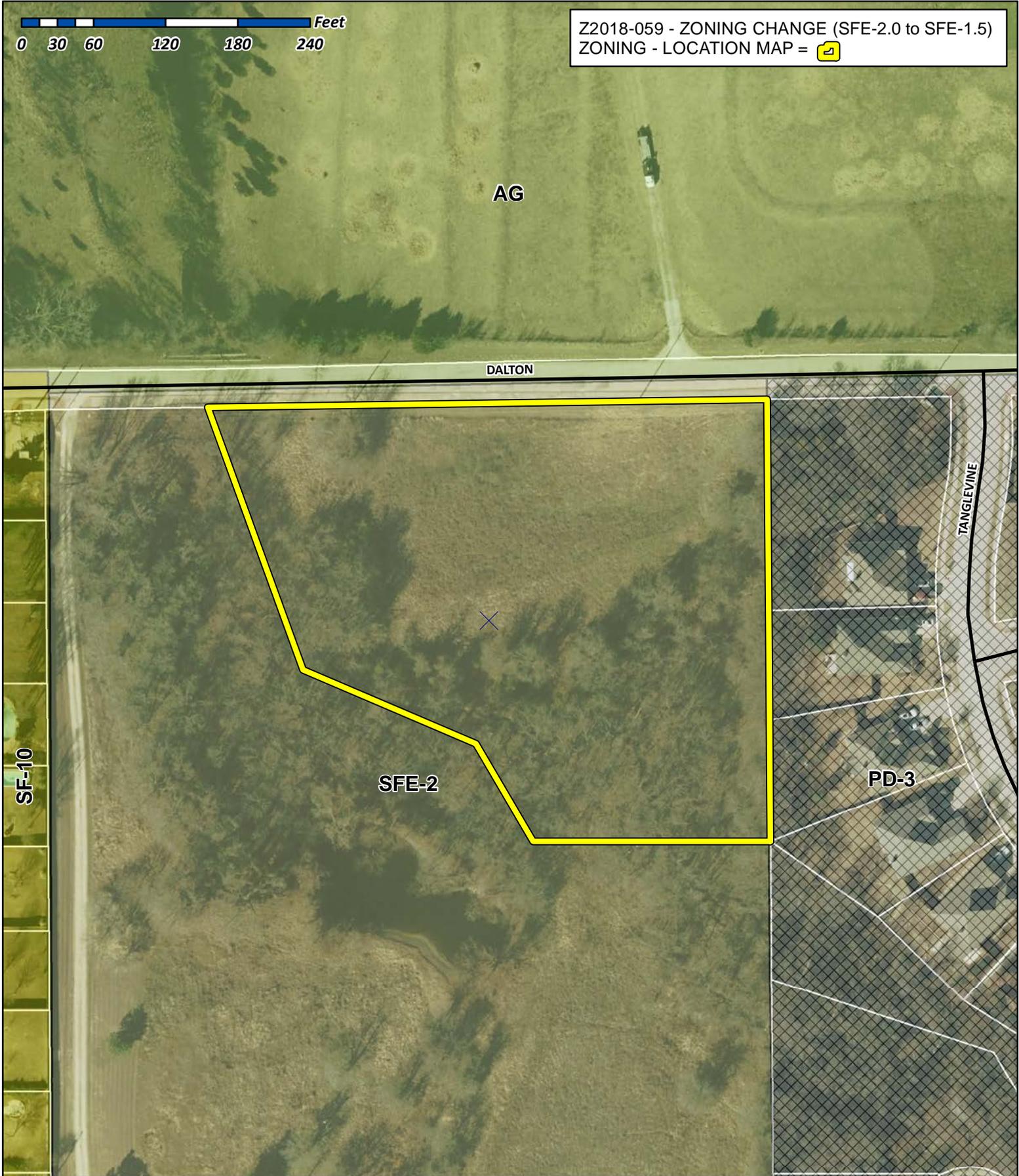
Project Number Z2018-059	Owner HEATHER CULLINS	Applied 12/17/2018 LM
Project Name Zoning Change (SFE 2.0-SFE-1.5)	Applicant HEATHER CULLINS	Approved
Type ZONING		Closed
Subtype REZONE		Expired
Status Staff Review		Status

Site Address	City, State Zip	Zoning
Subdivision	Tract	General Plan
	Block	
	Lot No	
	Parcel No	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/18/2018	12/25/2018	12/18/2018		APPROVED	Flood Plain
ENGINEERING (12/27/2018 11:06 AM SH) - Must show approved flood study cross-sections, elevations, and boundaries. - Note 5 should read, "Home owner is responsible for all maintenance, repair, and reconstruction of all drainage and detention easements."	Sarah Hager	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	
FIRE	Ariana Hargrove	12/17/2018	12/24/2018	12/19/2018	2	APPROVED	
PLANNING Z2018-056 ZONING CHANGE (AG TO C) Please address the following comments (M= Mandatory Comments; I = Informational Comments). I.1 a request by Heather Cullins for the approval of a zoning change from a Single-Family Estate 2.0 (SFE-2.0) District to Single Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 1085 Dalton Road I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (Z2018-059) in the lower right hand corner of all pages on future submittals. M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting. I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 2019. The Planning and Zoning Meeting for this case is January 15, 2019 2018. I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.	Korey Brooks	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	Comments



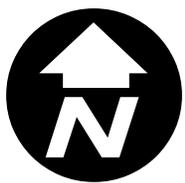
Z2018-059 - ZONING CHANGE (SFE-2.0 to SFE-1.5)
ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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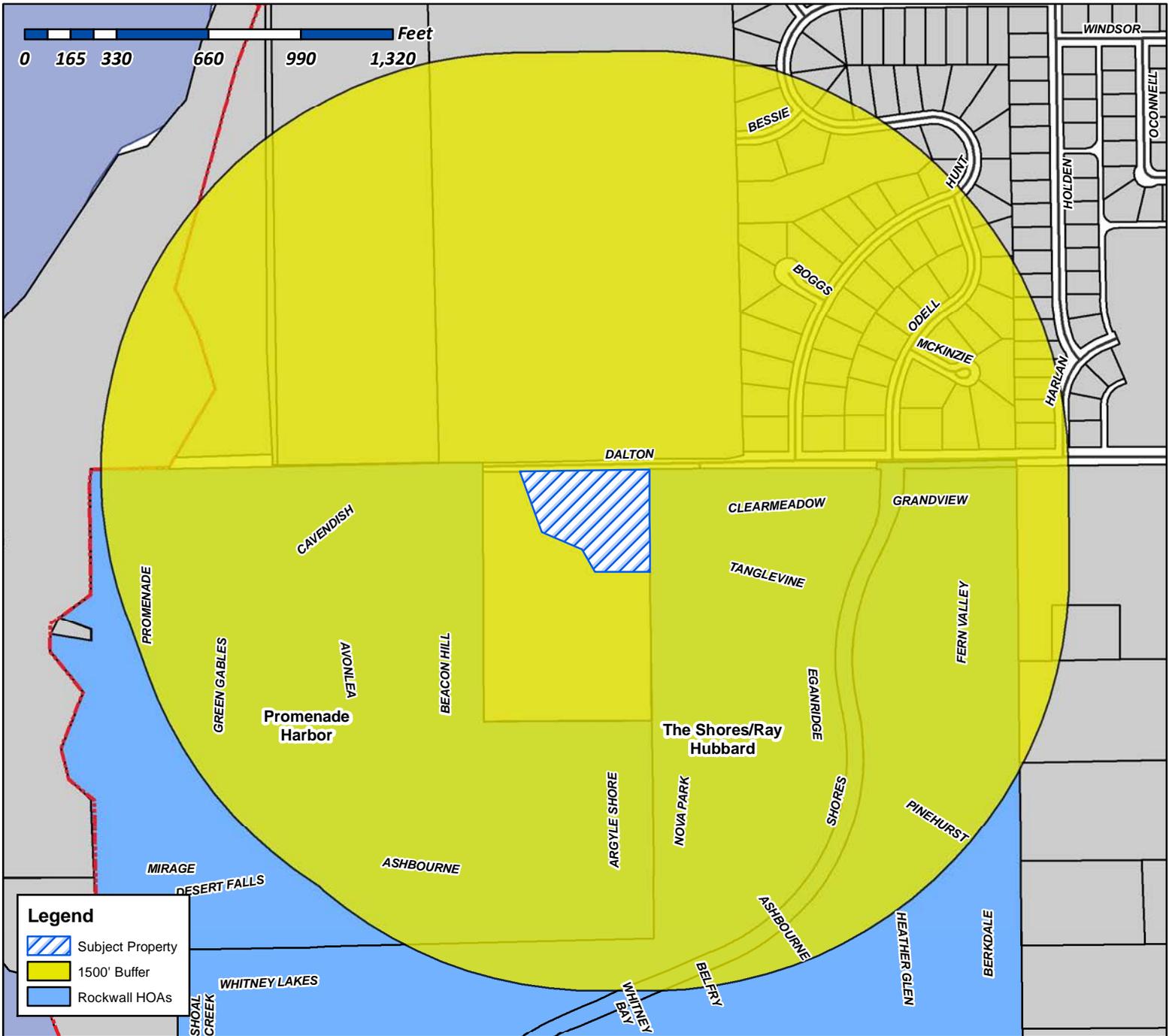




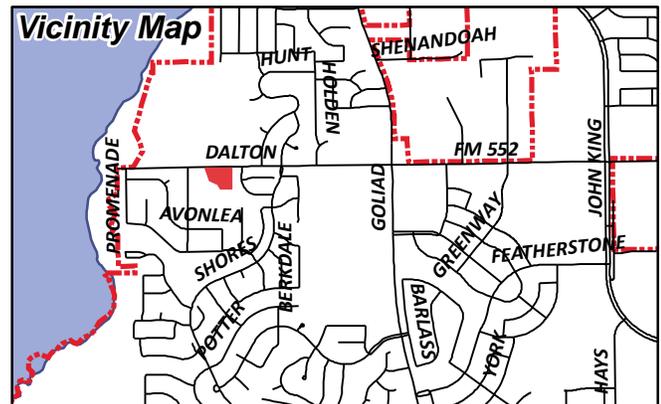
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2018-059
Case Name: Zoning Change (SFE-2.0 to SFE-1.5)
Case Type: Zoning
Zoning: SFE-2 District
Case Address: 1085 Dalton Road



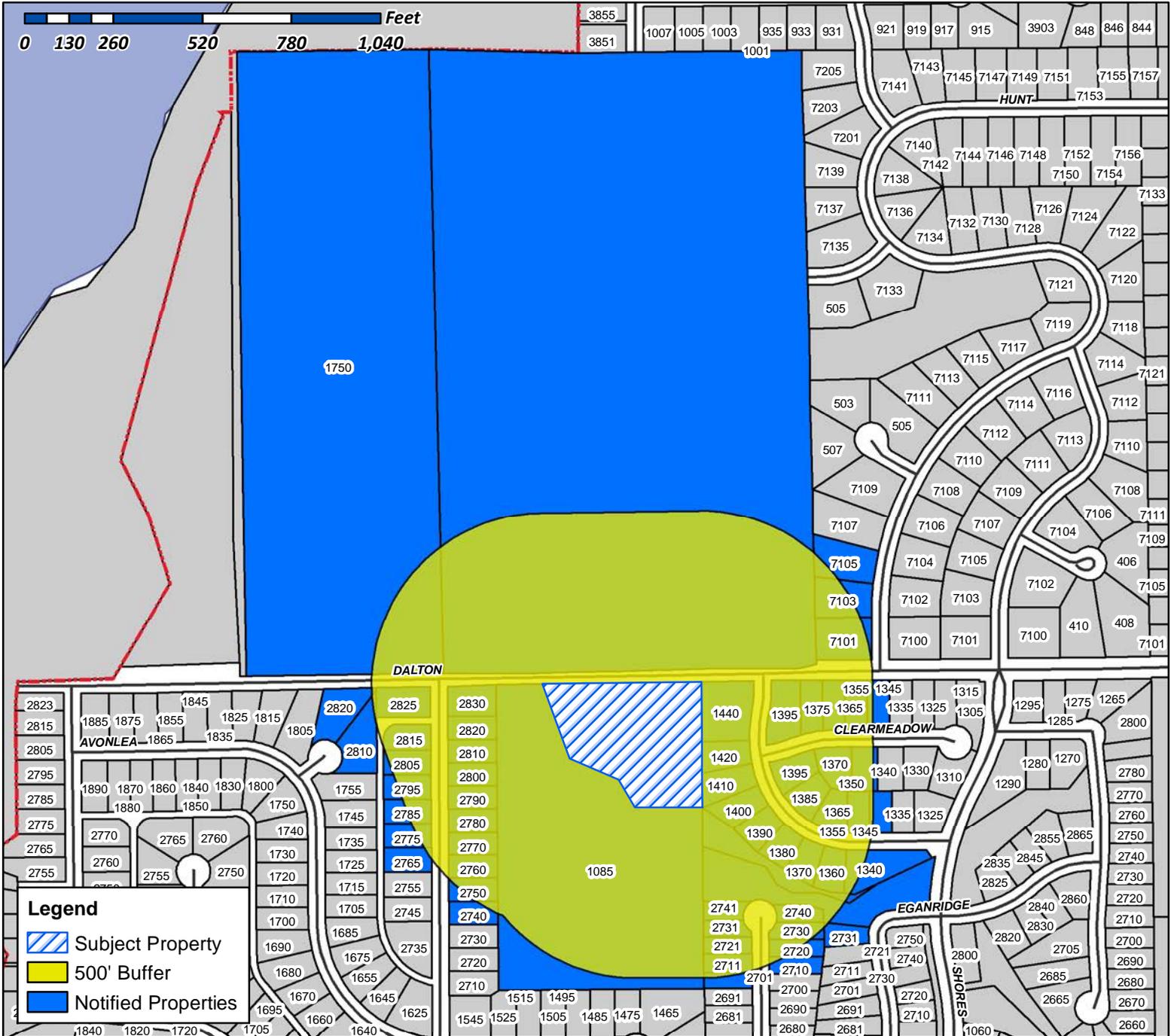
Date Created: 12/17/2018
For Questions on this Case Call (972) 771-7745



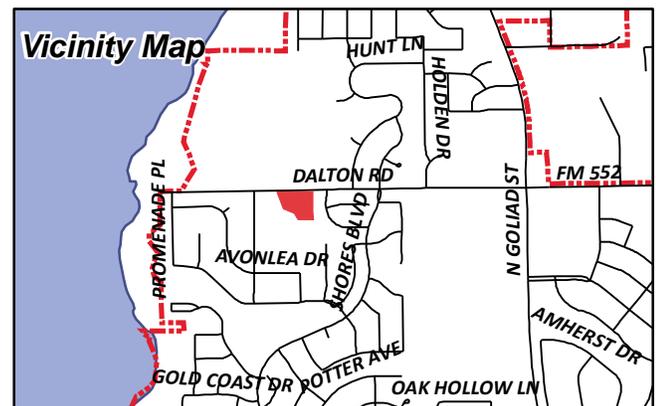
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Case Number: Z2018-059
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Case Type: Zoning
Zoning: SFE-2 District
Case Address: 1085 Dalton Road



Date Created: 12/17/2018

For Questions on this Case Call (972) 771-7745

CULLINS KENNETH & HEATHER
1020 TIMBERLINE DR
HEATH, TX 75032

CURRENT RESIDENT
1085 DALTON RD
ROCKWALL, TX 75087

WALKER LEONARD A JR & TRESSIA Y
1340 TANGLEVINE LN
ROCKWALL, TX 75087

SWAN OLGA MARIE GARCIA AND
REGINA K SWAN
1345 CLEAR MEADOW COURT
ROCKWALL, TX 75087

JESTER IRVING P & ALICE
1345 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1350 CLEARMEADOW CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1355 TANGLEVINE DR
ROCKWALL, TX 75087

SANDERS BRIAN PETER AND CASSANDRA ALICE
1355 CLEAR MEADOW CT
ROCKWALL, TX 75087

SAMPLES CHRISTINA ELISE
1360 TANGLEVINE LN
ROCKWALL, TX 75087

THOMSON MARTA CAGLE AND WARREN KIT
1365 CLEARMEADOW CT
ROCKWALL, TX 75087

HEARN LESLIE
1365 TANGLEVINE DR
ROCKWALL, TX 75087

VANDERVER WES A & SARA A
1370 CLEAR MEADOW COURT
ROCKWALL, TX 75087

HOLMES WILLIAM JR
1370 TANGLEVINE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1375 CLEARMEADOW CT
ROCKWALL, TX 75087

LANGFORD JAMES GORDON & PEGGY
1380 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1385 TANGLEVINE DR
ROCKWALL, TX 75087

NEECE DAVID W SR & LYNNE MARIE
1390 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1395 TANGLEVINE DR
ROCKWALL, TX 75087

HOWARD STEPHANIE RAMAGE AND
GREGORY MAYO HOWARD
1395 CLEAR MEADOW CT
ROCKWALL, TX 75087

ALLEN DARONDA RENEE
1400 TANGLEVINE LN
ROCKWALL, TX 75087

BRINKLEY JESSE K
1410 TANGLEVINE DR
ROCKWALL, TX 75087

SHOLTIS EUGENE J JR AND SHANNON L
1420 TANGLEVINE LN
ROCKWALL, TX 75087

COFFMAN THOMAS E &
LINDA DARNELL
1431 COASTAL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1440 TANGLEVINE DR
ROCKWALL, TX 75087

CLARK CHARLES L & SANDRA J TRUSTEES
CHARLES L & SANDRA J CLARK FAMILY TRUST
1739 MORLEY STREET
SIMI VALLEY, CA 93065

WILLIS MICHAEL & LISA
1750 DALTON RD
ROCKWALL, TX 75087

ALVES SAMUEL
2080 BERKDALE LN
ROCKWALL, TX 75087

LANGSTON TIFFINI S
215 HARRIS COVE
LONGVIEW, TX 75605

PARKS NADINE R
2701 NOVA PARK CT
ROCKWALL, TX 75087

SMITHERS VICTORIA & DAVID
2710 NOVA PARK CT
ROCKWALL, TX 75087

MICHIE JOHN D & PHYLLIS R
2711 NOVA PARK CT
ROCKWALL, TX 75087

IZAK MARY L
2720 NOVA PARK CT
ROCKWALL, TX 75087

CURRENT RESIDENT
2721 NOVA PARK CT
ROCKWALL, TX 75087

GILMORE PATRICK
2730 NOVA PARK CT
ROCKWALL, TX 75087

NIEBUR ALAN R & COURTNEY
2731 EGANRIDGE LN
ROCKWALL, TX 75087

LOWRANCE ALVA BERNICE LIFE ESTATE AND
PAMELA KAY GUTHRIE AND ROBERT LYNN
LOWRANCE
2731 NOVA PARK CT
ROCKWALL, TX 75087

KEEL DON E & NANCY A
2740 BEACON HILL DR
ROCKWALL, TX 75087

NABI HOSNI A & LYNN
2740 NOVA PARK CT
ROCKWALL, TX 75087

WOODDELL SCOTT W AND DEBBIE L
2741 NOVA PARK CT
ROCKWALL, TX 75087

GRASTY RAYMOND B
2750 BEACON HILL DR
ROCKWALL, TX 75087

SIMMONS JANAH
2760 BEACON HILL DR
ROCKWALL, TX 75087

SCHAFFHAUSER SUSAN K
2765 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2770 BEACON HILL DR
ROCKWALL, TX 75087

THOMPSON DONALD AND MARY
2775 BEACON HILL DR
ROCKWALL, TX 75087

BRITTAIN WAYNE W &
BARBARA J
2780 BEACON HILL DR
ROCKWALL, TX 75087

BERGMANN KATHARINA
2785 BEACON HILL DR
ROCKWALL, TX 75087

PALMIERI SALVATORE & THERESE A
2790 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2795 BEACON HILL DR
ROCKWALL, TX 75087

ONEILL KATHLEEN E
2800 BEACON HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
2810 BEACON HILL DR
ROCKWALL, TX 75087

MCDANIEL DAVID L & LINDA D
2810 CAVENDISH CT
ROCKWALL, TX 75087

WALKER DONALD H
2815 BEACON HILL DR
ROCKWALL, TX 75087

HOLBROOK SANDRA
2820 BEACON HILL DR
ROCKWALL, TX 75087

EDWARDS SUSAN L
2820 CAVENDISH CT
ROCKWALL, TX 75087

JOHNSON DAVID J
2825 BEACON HILL DR
ROCKWALL, TX 75087

JACOBSON KYLE AND CHLOE A REED
2830 BEACON HILL DR
ROCKWALL, TX 75087

CHIU THOMAS
301 CRESTBROOK
ROCKWALL, TX 75087

AMH 2015-2 BORROWER LLC
30601 AGOURA RD 0
AGOURA HILLS, CA 91301

ALEJOS ERIK J
6500 CHAMPION GRANDVIEW WAY APT 33201
AUSTIN, TX 78750

NABORS MIKE N ETUX JULIE
7101 HUNT LN
ROCKWALL, TX 75087

DOWNS MICHAEL
7103 HUNT LN
ROCKWALL, TX 75087

CURRENT RESIDENT
7105 HUNT LN
ROCKWALL, TX 75087

CSH 2016-2 BORROWER LLC
8665 EAST HARTFORD DR 0
SCOTTSDALE, AZ 85255

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT
AGOURA HILLS, CA 91301

HODGDON DAVID L & SUE WYCHE
PO BOX 1106
ROCKWALL, TX 75087

ESB PRIVATE TRUST
FROST BANK TRUSTEE
PO BOX 226657
DALLAS, TX 75222

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

FLORES JAMES & PATRICIA
PO BOX 992
ROCKWALL, TX 75087

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM A SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT TO A SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT ON A 3.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-01 OF THE T. DEAN SURVEY, ABSTRACT NO. 69, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Heather Cullins for a change in zoning from a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family 2.0 (SFE-2.0) District and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Single-Family 2.0 (SFE-2.0) District to a Single-Family 1.5 (SFE-1.5) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 1.5 (SFE-1.5) District as stipulated in Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses* and Section 3.2, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 1-01 of the T. Dean Survey, Abstract No. 169

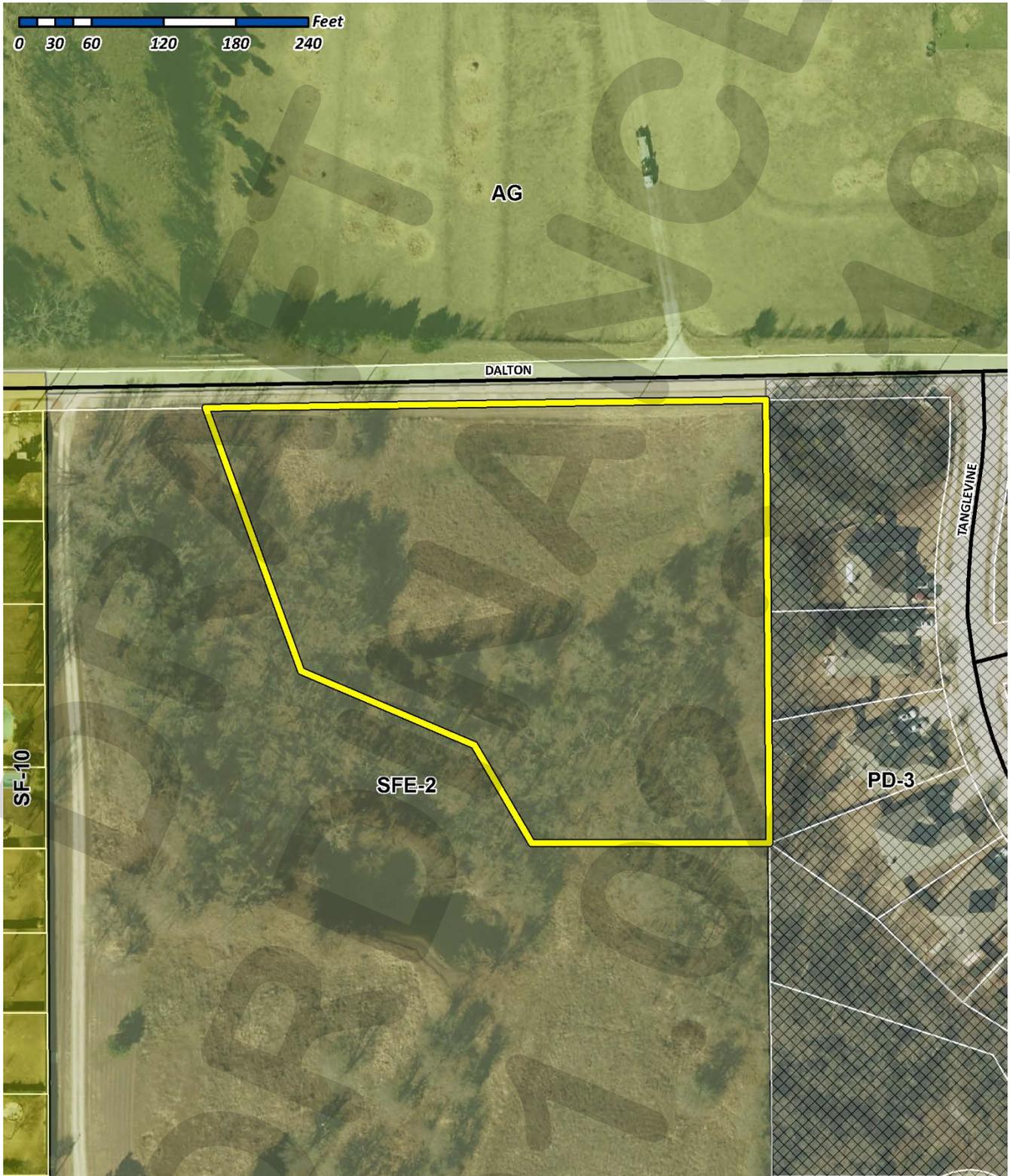


Exhibit 'B'
Legal Description

DRAFT
ORDINANCE
01.02.2019

City of Rockwall Project Plan Review History

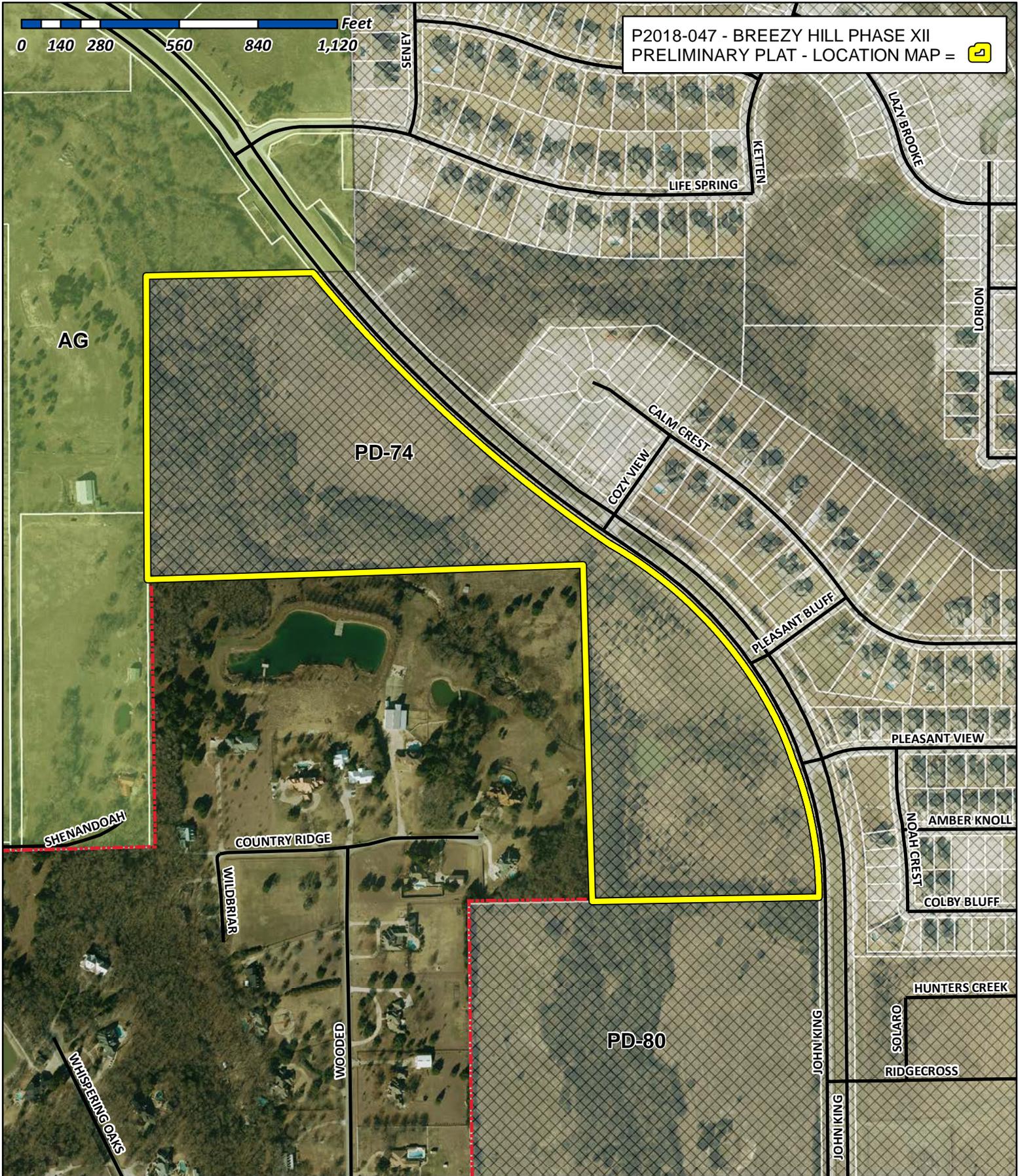


Project Number P2018-047	Owner BREEZY, HILL 405 LTD	Applied 12/17/2018	LM
Project Name Breezy Hill Phase XII	Applicant CORWIN ENGINEERING, INC.	Approved	
Type PLAT		Closed	
Subtype PRELIMINARY		Expired	
Status Staff Review		Status	
 Site Address N JOHN KING BLVD		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision	Tract 7-1	Block NULL	Lot No 7-1
		Parcel No 0187-0000-0007-01-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/17/2018	12/24/2018	12/18/2018	1	APPROVED	
ENGINEERING	Amy Williams	12/17/2018	12/24/2018				
FIRE	Ariana Hargrove	12/17/2018	12/24/2018	12/19/2018	2	APPROVED	
GIS	Lance Singleton	12/17/2018	12/24/2018	12/18/2018	1	APPROVED	
PLANNING	Korey Brooks	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	Comments

P2018-047 Breezy Hill, Phase XII
Please address the following comments (M= Mandatory Comments; I = Informational Comments).

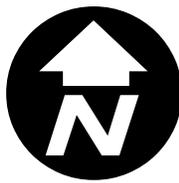
- I.1 This is a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH West Pods, LTD for the approval of a preliminary plat for Breezy Hill, Phase XII containing 35 single-family residential lots on 44.525-acres of land identified as a portion of Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located west of the intersection of John King Boulevard and Cozy View Drive
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2018-047) in the lower right hand corner of all pages on future submittals.
- M.4 Please provide lot types on table
- M.5 For Lots 2, 3, and 6, Block C, please show frontage at the build line, not the property line (since the frontages are curved).
- M.6 If all of the Lots are Type D as the concept plan shows, Lots 11, 12, 13, 14, 15, 16, Block A, do not meet 100-foot frontage.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 2019. The Planning and Zoning Meeting for this case is January 15, 2019. Park Board Meeting for this case is January 3, 2018.
- I.8 The projected City Council meeting date and subsequent approval for this plat is January 23, 2019.

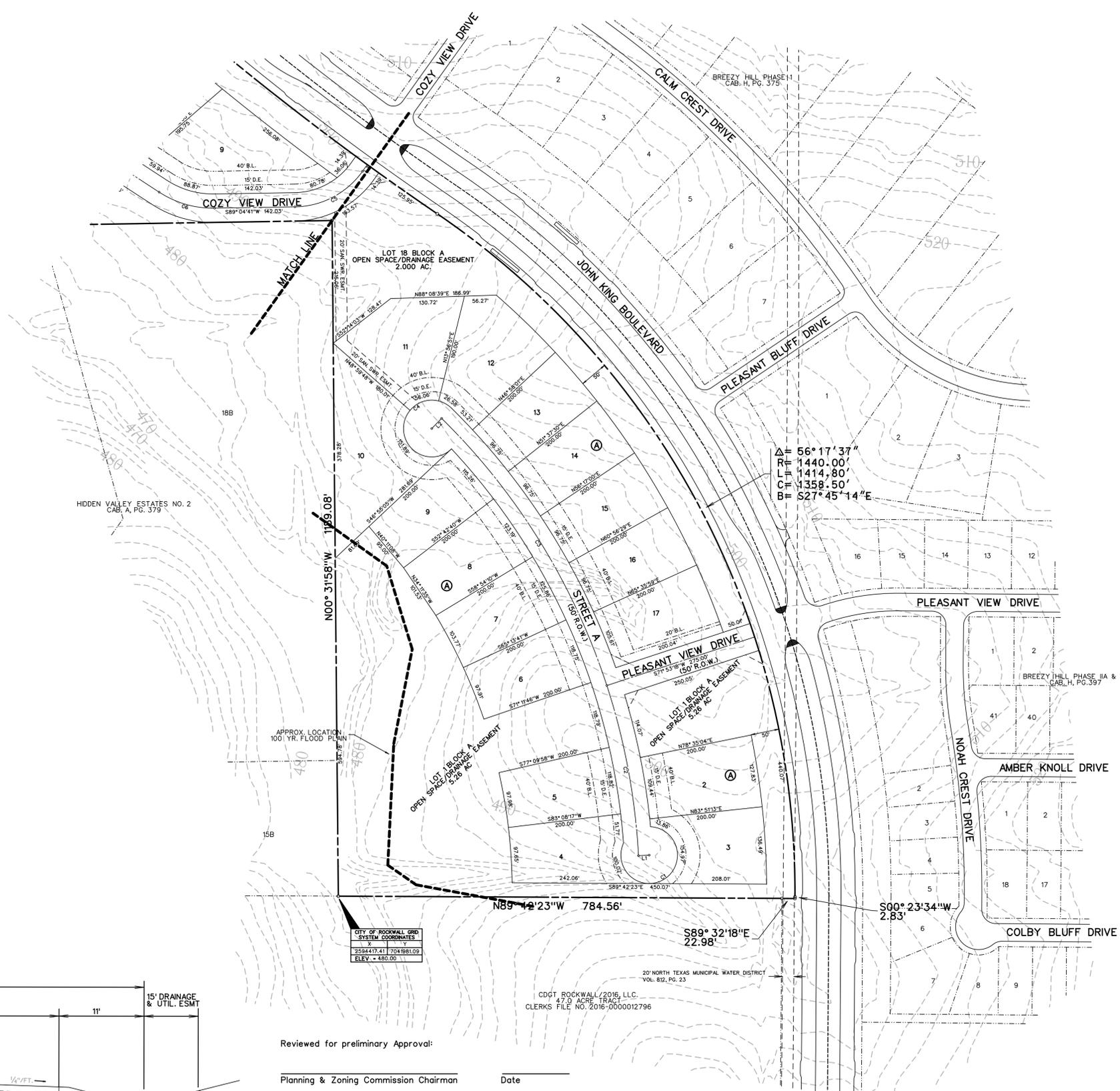
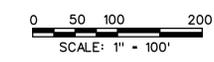


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
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- LEGEND**
- B.L. - BUILDING LINE
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT OF WAY
 - H.O.A. - HOMEOWNERS ASSOCIATION

- NOTES:**
- ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
 - HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.

PRELIMINARY PLAT
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

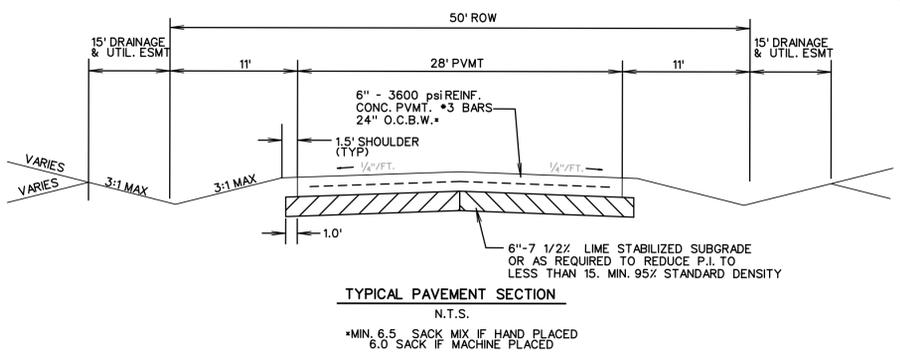
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential/Lot Type DJ

TOTAL ACRES	44.525
TOTAL RESIDENTIAL LOTS	35
DENSITY	1.272

NOVEMBER 2018 SCALE 1" = 100'



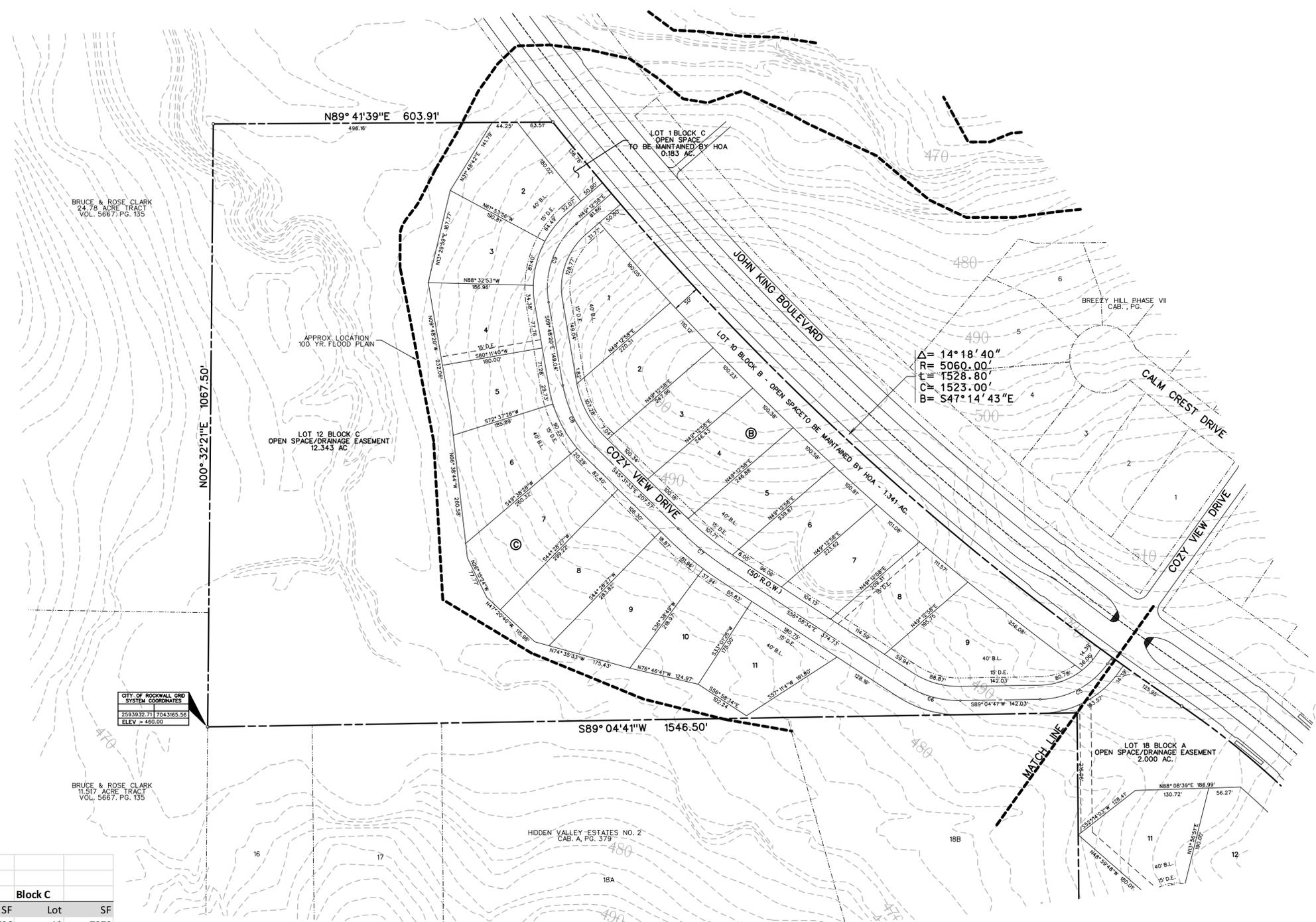
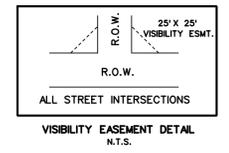
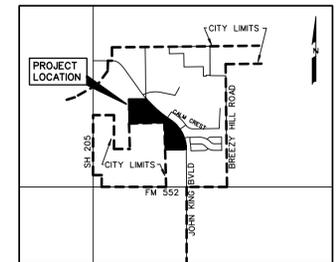
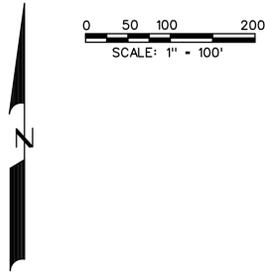
Reviewed for preliminary Approval:
Planning & Zoning Commission Chairman _____ Date _____

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2018.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

CITY OF ROCKWALL GRID SYSTEM COORDINATES
X = 2584417.41 7041881.09
ELEV. = 480.00

CDGT ROCKWALL 2016, L.L.C.
47.0 ACRE TRACT
CLERKS FILE NO. 2016-000012796
20' NORTH TEXAS MUNICIPAL WATER DISTRICT
VOL. 812, PG. 23



$\Delta = 14^\circ 18' 40''$
 $R = 5060.00'$
 $L = 1528.80'$
 $C = 1523.00'$
 $B = S47^\circ 14' 43'' E$

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	67°48'17"	50.00'	254.99'	55.78'	N58°48'45"E
2.	15°01'41"	1165.0'	305.57'	304.69'	S10°35'52"E
3.	27°29'00"	1165.0'	558.82'	553.48'	N31°51'12"W
4.	91°15'24"	50.00'	234.52'	71.48'	S00°02'00"W
5.	53°33'09"	150.00'	140.20'	135.15'	S62°18'06"W
6.	33°56'45"	175.00'	103.68'	102.11'	N73°56'57"W
7.	11°27'01"	575.00'	114.91'	114.72'	N51°15'04"W
8.	35°43'13"	200.00'	124.69'	122.68'	N27°39'57"W
9.	59°01'19"	150.00'	154.52'	147.78'	N19°42'19"E

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 86°54'29" E	18.91'
2.	S 44°24'18" W	25.00'
3.	S 35°31'32" W	14.21'

CITY OF ROCKWALL GRID
 SYSTEM COORDINATES
 250+932.71 704+365.56
 ELEV. = 480.00

BREEZY HILL PHASE XII					
Block A		Block B		Block C	
Lot	SF	Lot	SF	Lot	SF
1*	229342	1	29726	1*	7970
2	23726	2	26401	2	26280
3	21698	3	24702	3	22572
4	22125	4	24629	4	23530
5	21679	5	24499	5	20434
6	21665	6	23160	6	28777
7	22962	7	21629	7	33213
8	22570	8	22265	8	31489
9	21105	9	35673	9	29368
10	35842	10	58442	10	21585
11	28263			11	24761
12	27746			12*	537688
13	20978				
14	20975				
15	20975				
16	20975				
17	23317				
18*	87122				

* Denotes Open Space

LEGEND

B.L. - BUILDING LINE
 D.E. - DRAINAGE EASEMENT
 U.E. - UTILITY EASEMENT
 R.O.W. - RIGHT OF WAY
 H.O.A. - HOMEOWNERS ASSOCIATION

NOTES:

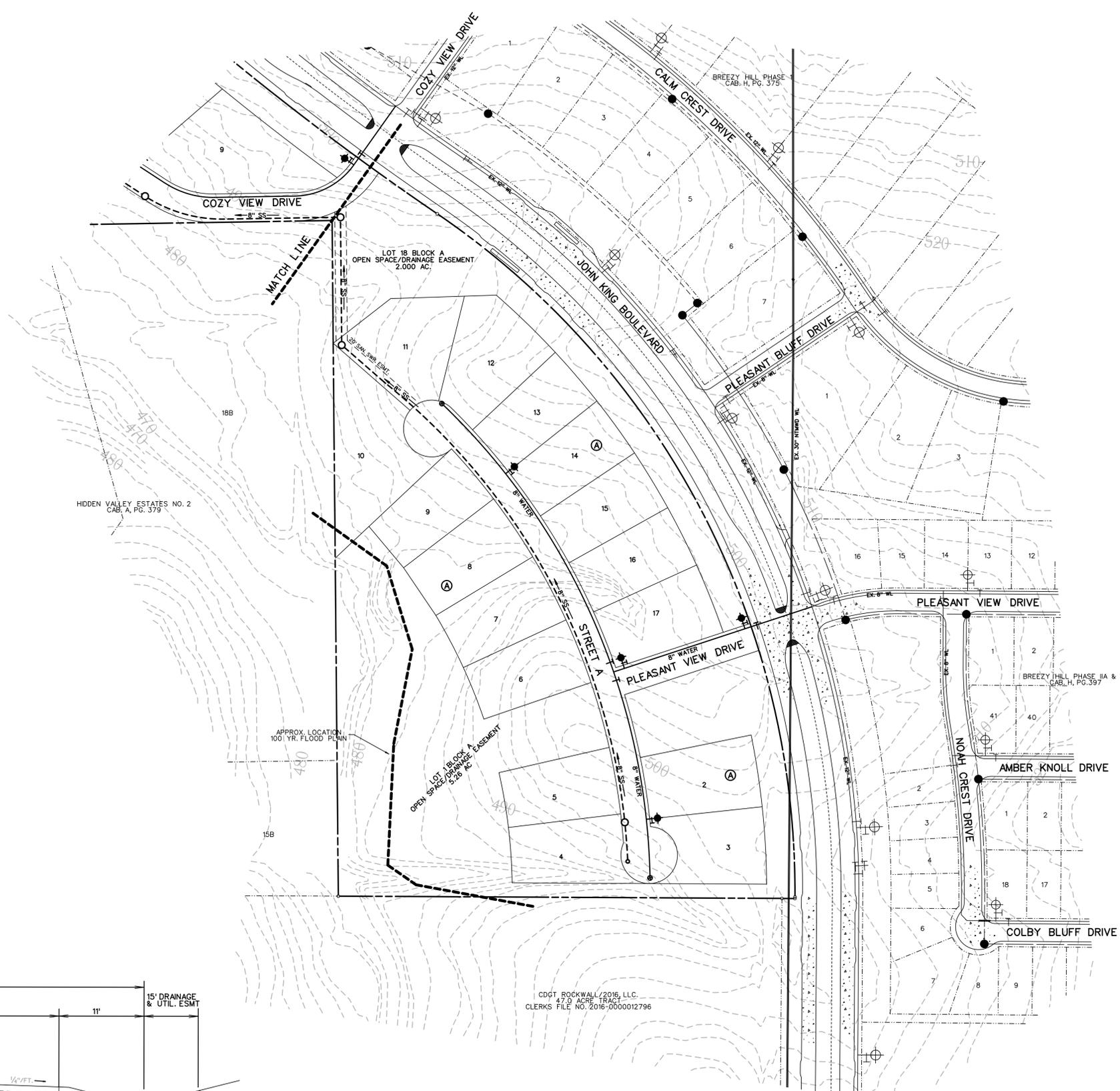
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 BE MAINTAINED BY THE HOA.
 HOA/PROPERTY OWNER TO MAINTAIN,
 REPLACE, AND REPAIR ALL DRAINAGE,
 DETENTION, AND OPEN SPACE EASEMENTS
 AND LOTS.

Zoning: Planned Development District (PD-74)
 Single Family Residential (Lot Type DJ)

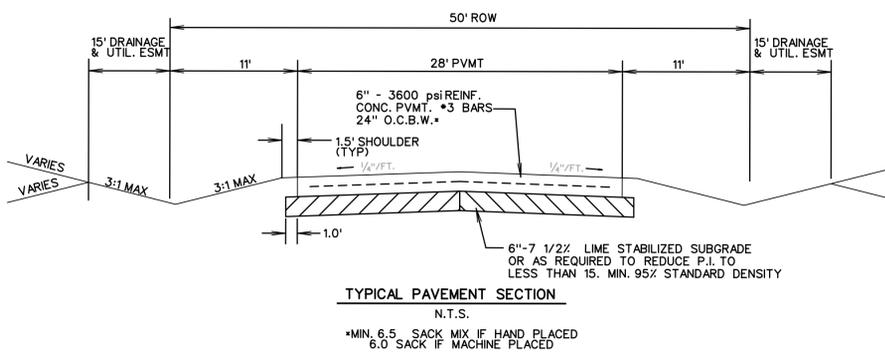
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 OF
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 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 NOVEMBER 2018 SCALE 1" = 100'
 CASE #P2018-xxx

0 50 100 200
SCALE: 1" = 100'



CDGT ROCKWALL 2016, LLC.
47.0 ACRE TRACT
CLERKS FILE NO. 2016-000012796



PRELIMINARY
WATER & SANITARY SEWER PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

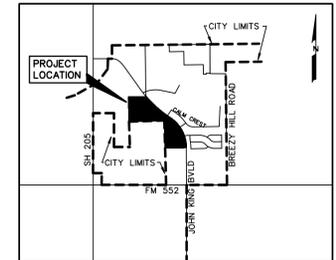
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential (Lot Type C, F & G)

TOTAL ACRES	44.525
TOTAL RESIDENTIAL LOTS	35
DENSITY	1.272

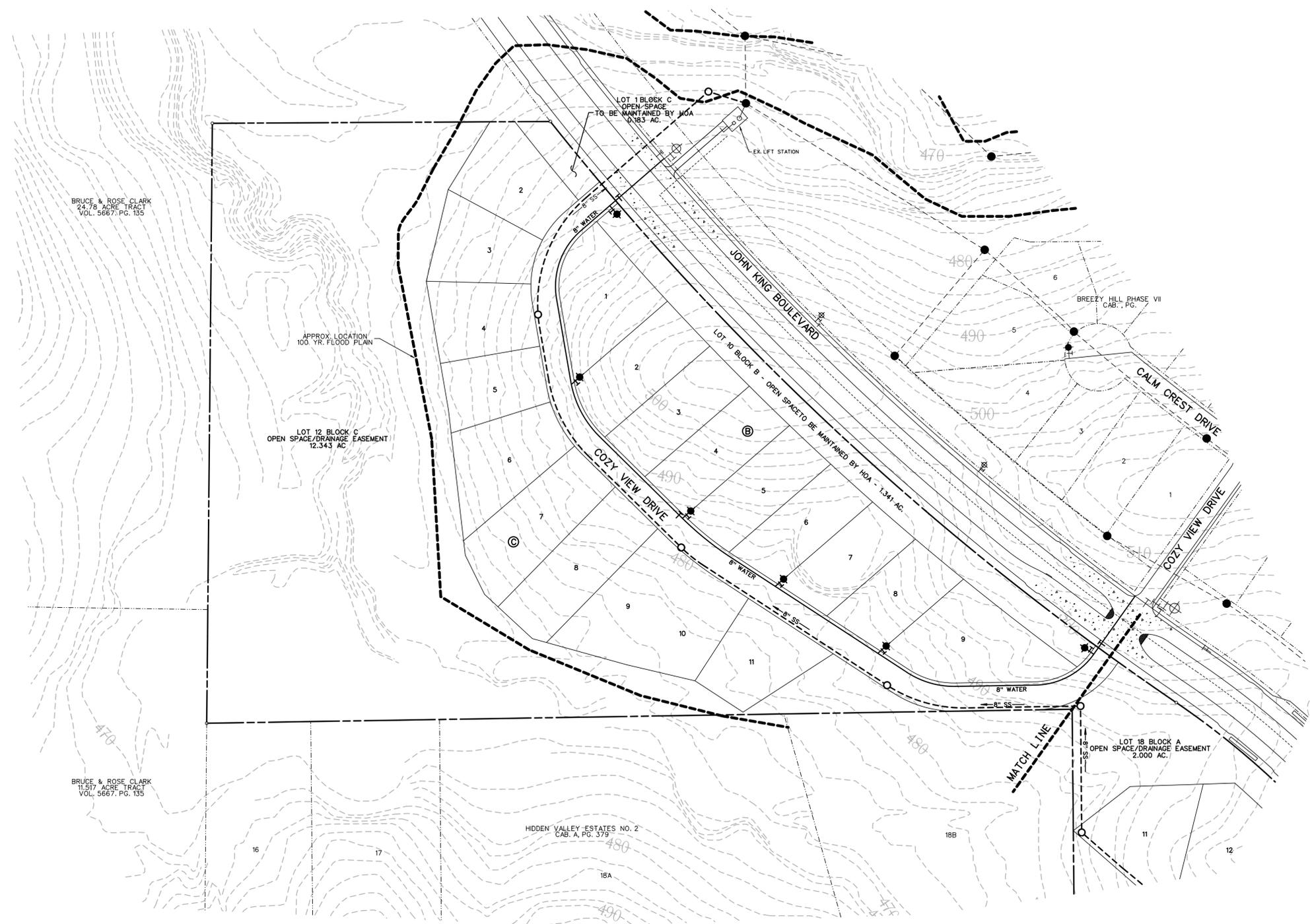
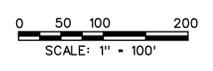
NOVEMBER 2018 SCALE 1" = 100'



LOCATION MAP
N.T.S.

LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- EXIST. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL



PRELIMINARY
WATER & SANITARY SEWER PLAN
OF
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BEING 44.525 ACRES

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J. STRICKLAND SURVEY, ABSTRACT NO. 187

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

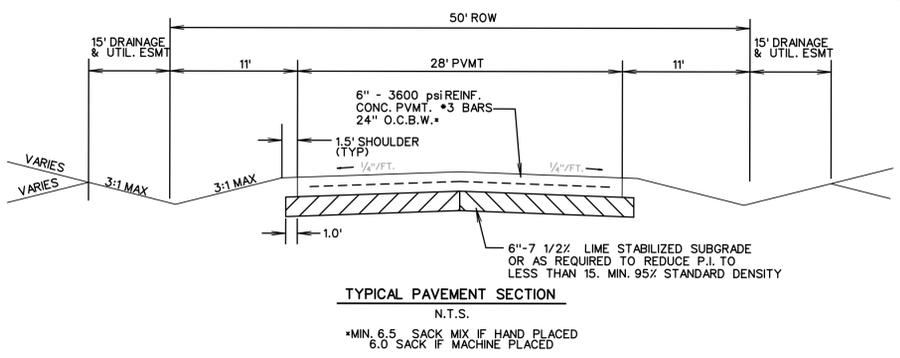
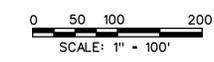
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential (Lot Type DJ)

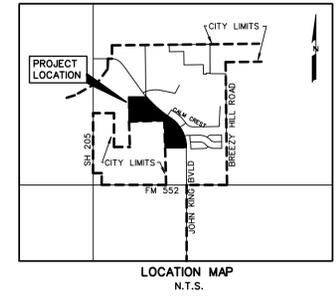
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TOTAL RESIDENTIAL LOTS	35
DENSITY	1.272

NOVEMBER 2018 SCALE 1" = 100'

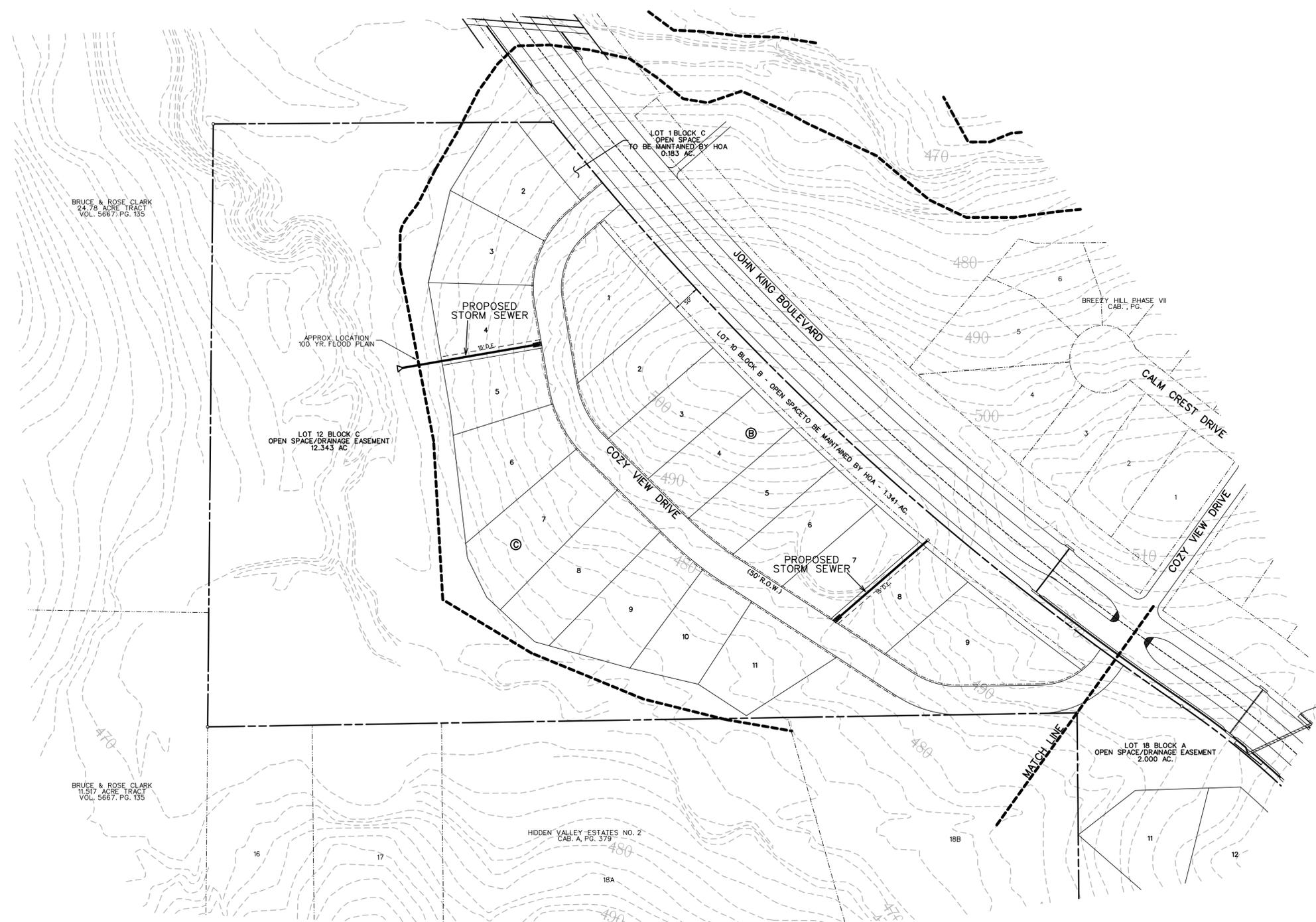
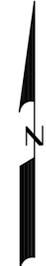


PRELIMINARY
DRAINAGE PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

20' NORTH TEXAS MUNICIPAL WATER DISTRICT
"06L" 812, PG. 23
CDGT, ROCKWALL, 2016, L.L.C.
47.8 ACRES TRACT
CLERKS FILE NO. 2016-000012796



0 50 100 200
SCALE: 1" = 100'



LEGEND

	PROP. STORM SEWER
	PROP. CURB INLETS
	PROP. CONC. HEADWALL

PRELIMINARY
DRAINAGE PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
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NOVEMBER 2018 SCALE 1" = 100'

City of Rockwall Project Plan Review History



Project Number SP2018-042	Owner Z06, PROPERTIES INC	Applied 12/14/2018	LM
Project Name 2500 Discovery Blvd.	Applicant	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 2500 DISCOVERY BLVD		City, State Zip ROCKWALL, TX 75032	
		Zoning	
Subdivision ROCKWALL TECHNOLOGY PARK	Tract 3	Block D	Lot No 3
			Parcel No 4816-000D-0003-00-OR
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/14/2018	12/21/2018	12/18/2018	4	APPROVED	
ENGINEERING	Sarah Hager	12/14/2018	12/21/2018	12/20/2018	6	COMMENTS	<p>(12/20/2018 3:01 PM SH)</p> <ul style="list-style-type: none"> - No wheel stops on handicapped parking spots. - Update note to say, "Longitudinal butt joint." - New parking against the building to be 20'x9'. - Loop 8" waterline on site. May need another fire hydrant for coverage. - May need more fire lane for meet hose reach coverage. - Square off the paving saw cut on the loop to be updated. See attached markup. <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees. - Impact fees for taps and upsizing the building. - Fire Lane to be 24' min, 20' curve radii. - Parking is 20'x9' min. - Min 20' utility easements. - No structures or walls in easements. - No trees within 5' of public utilities. - Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls. - Lot must be replatted. - Must meet all City Engineering Standards.
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	APPROVED	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
GIS	Lance Singleton	12/14/2018	12/21/2018	12/18/2018	4	APPROVED	
PLANNING	David Gonzales	12/14/2018	12/21/2018	12/20/2018	6	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Jeff Carol of Carol Architects Inc. on behalf of Terry Morgan of Z06 Properties, LLC for the approval of a site plan for an office/warehouse building on a 5.690-acre tract of land identified as all of Lot 7 and a portion of Lot 6, Block C, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Thursday January 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

** Planning Department General Comments & Requirements to address/acknowledge:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).
3. Label all revised site plan documents with "Case No. SP2018-042" at the lower right corner of each plan.
4. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department

VARIANCES AND EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER

1. Vertical articulation standards of the UDC for all facades
2. Horizontal articulation standards of the UDC for the north and south facing elevations
3. Minimum 20% stone requirement for all facades that are visible from a public street or open space
4. For the use of tilt-up wall construction.

** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

Site Plan:

1. Provide adjacent property owner information
2. Label the access easement as "24-ft Firelane, Public Access, and Utility Easement.
3. Delineate and label all easements for site.
4. Provide a hatch for the proposed building area(s).
5. Relabel the northern portion of the expanded building - says "Prop Delivery Ramp"
6. Use a heavier font weight for the fonts in light gray under Site Data
7. Correct Title Block to read "Lot 3", Block D.

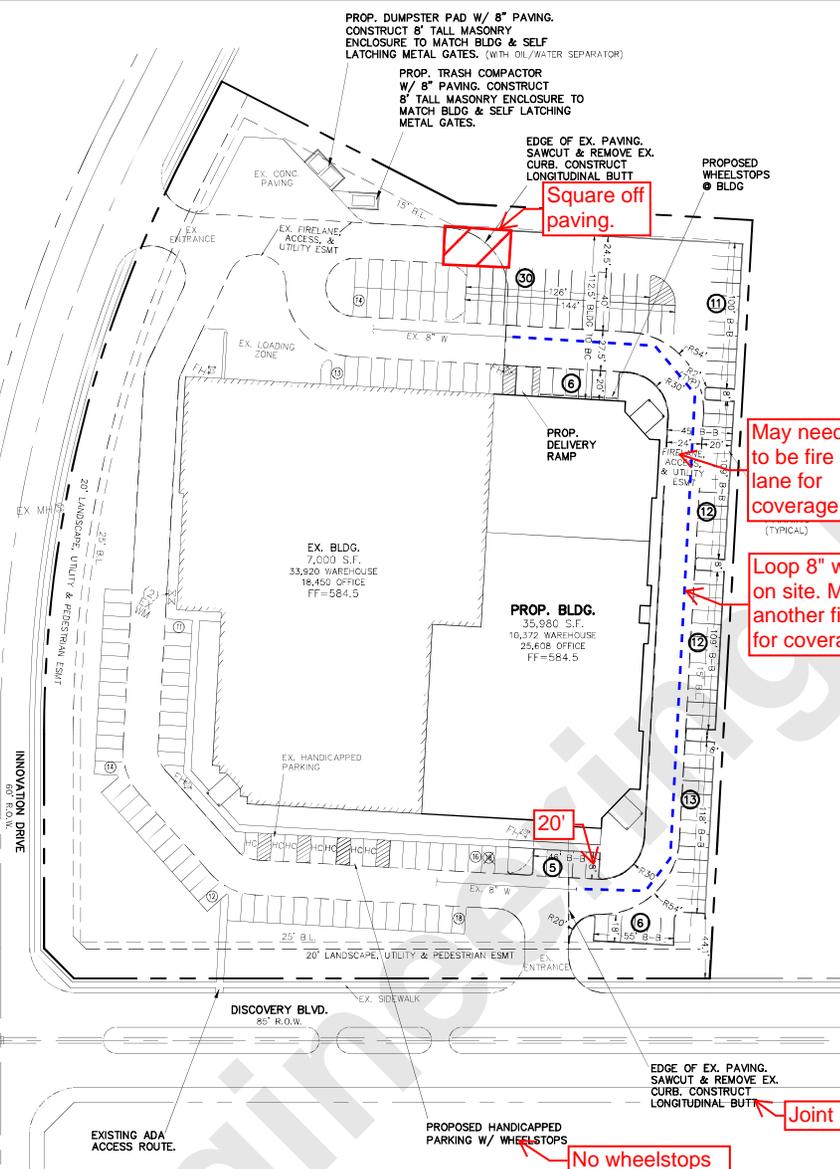
Architectural Site Plan:

1. Correct Site Data Table to indicate "Light Industrial" for the zoning of the property.

Landscape Plan:

1. A treescape plan is required for the removal of trees located on this site. See mitigation requirements for those trees requiring mitigation under Article IX, Tree Preservation, of the UDC.
2. Update landscape to indicate compliance with landscape standards of the UDC by providing a minimum of one (1), three (3)-caliper inch canopy tree per each 50 linear feet and within the 20-ft landscape buffer along each street
3. Provide a minimum of one (1), three (3)-caliper inch tree for each ten (10) parking spaces within the interior of the parking lot.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
4. No required parking space may be located more than 80 feet from the trunk of a large canopy tree						
5. Delineate and label the 20-ft Landscape buffer strip along each adjacent street						
Photometric Plan:						
1. Are there any additional exterior lighting fixtures, poles to be used on this expansion? If so, provide a photometric plan complying with the standards as established in Section 3, of Article VII, Environmental Performance, of the UDC.						
Building Elevations:						
1. All roof-top mechanical equipment requires screening from rights-of-way and adjacent properties. Provide a roof plan indicating location of units and dash-in RTU's on elevations. Provide detail of screening mechanism to be used if these are not properly screened						
2. Requires a recommendation from the Architectural Review Board (ARB).						
3. Provide a materials sample board for ARB review of the actual materials to be used (see meeting dates below).						
4. Provide exterior material calculations for each elevation						
5. Is there any stone on the building? The UDC requires a minimum of 20% stone on each elevation that is visible from a public street or open space. If there is no stone, this will require approval of a variance by the Planning and Zoning Commission.						
6. Approval of an exception to the masonry standards by the Planning and Zoning Commission is required						
<p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
Meeting Dates to Attend						
Architectural Review Board: January 2, 2019 (5:00 p.m.) [Applicant to receive recommendations from ARB]						
Planning - Work Session: January 2, 2019 (6:00 p.m.) [Applicant to present/discuss project with P&Z]						
Parks and Recreation Board - January 3, 2019 (6:00 p.m.) [PRB to assess park fees]						
Architectural Review Board: January 15, 2019 (5:00 p.m.) [Subsequent meeting if necessary]						
Planning - Action: January 15, 2019 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
** City Council - Action: Tuesday, January 22, 2019 (6:00 p.m.) [FOR WAIVERS TO PD-32 ONLY] **						
** City Council - Action: Tuesday, January 22, 2019 (6:00 p.m.) [FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						



PROP. DUMPSTER PAD W/ 8" PAVING. CONSTRUCT 8" TALL MASONRY ENCLOSURE TO MATCH BLDG & SELF LATCHING METAL GATES. (WITH OIL/WATER SEPARATOR)

PROP. TRASH COMPACTOR W/ 8" PAVING. CONSTRUCT 8" TALL MASONRY ENCLOSURE TO MATCH BLDG & SELF LATCHING METAL GATES.

EDGE OF EX. PAVING. SAWCUT & REMOVE EX. CURB. CONSTRUCT LONGITUDINAL BUTT

Square off paving.

May need to be fire lane for coverage.

Loop 8" waterline on site. May need another fire hydrant for coverage.

20'

No wheelstops

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING: PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STARTING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & MCTODD STANDARDS AND DETAILS 4TH EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) NO SAND UNDER SIDEWALKS.

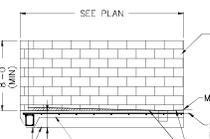
SITE DATA:
 LOT AREA: 5.69 Acres, 247,899 sq. ft.
 LOT COVERAGE: 33.64%
 FLOOR TO AREA RATIO: 2.8:1
 BUILDING AREA: EX: 52,370 sq.ft. PROP: 35,980 sq.ft. TOTAL = 88,350 sq.ft.
 CONSTRUCTION TYPE: XX
 BUILDING HEIGHT: 20'
 BUILDING SETBACKS: Front = 25', Rear = 15', Side = 15'
 PROPOSED USE: Office/Warehouse IMPERVIOUS AREA (including buildings): 100,000 sq. ft.
 ZONING: LI
 PARKING: 62 provided, 86 required, 100/1000 = 34, 100 = 11, 193 provided.
 FIRE SPRINKLER: YES
 * THERE ARE EX BUILDINGS ON THIS SITE.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN P.O.W.
 - 5) NO SAND UNDER PAVING.

EX. FIRE SPRINKLER TO BE TIED IN TO NEW BUILDING

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

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1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.



LEGEND

- - - - - PROPERTY LINE
- EX. # - EX. EX. WATER LINE
- EX. SS - EX. EX. SANITARY SEWER LINE
- EX. S - EX. EX. SS MANHOLE
- WV - EX. EX. WATER VALVE
- PP - EX. EX. POWER POLE
- TP - EX. EX. TELEPHONE BOX
- SM - EX. EX. STORM MANHOLE
- FI - EX. EX. FIRE HYDRANT
- PH - PROPOSED FIRE HYDRANT
- EXST. OF EX. - EXISTING
- ESMNT. - EASEMENT
- LS - LANDSCAPE
- BC - BACK OF CURB
- B-B - BACK OF CURB TO BACK OF CURB
- RCP - REINFORCED CONCRETE PIPE
- PROPOSED FIRELANE
- PROPOSED SIDEWALK

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



- 4% Engineering Inspection Fees.
- Impact fees for taps and upsizing the building.
- Fire Lane to be 24' min, 20' curve radii.
- Parking is 20'x9' min.
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- Lot must be replatted.
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CASE #:

SITE PLAN

OFFICE WAREHOUSE PROJECT

2500 DISCOVERY BLVD
 ROCKWALL TECHNOLOGY PARK ADDITION
 Lot 2C, Blk D, 5.69 ACRES
 City of Rockwall, Rockwall County, Texas 75087

OWNER:
206 PROPERTIES, LLC

DESIGNER:
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland, Texas 75040
 972-272-1763 Fax 972-272-8761

© 2018 Monk Consulting Engineers, Inc. All Rights Reserved
 PROJECT NO.: 1018-15 REV. NO.: P-1003

DATE: 12/13/18 SCALE: 1"=40' SHEET: C101



SP2018-042 -SITE PLAN FOR 2500 DISCOVERY BLVD.
 SITE PLAN - LOCATION MAP = 

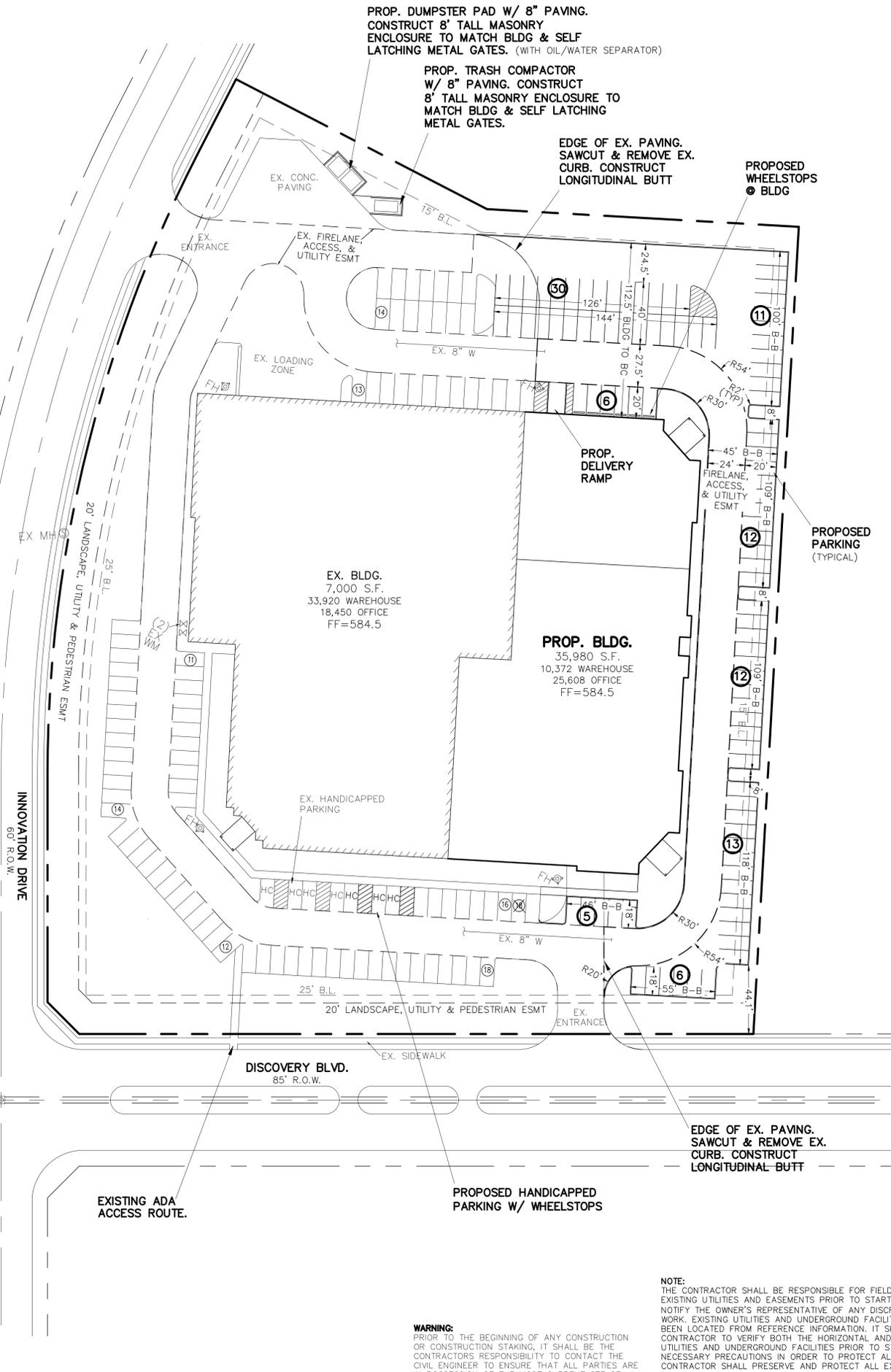


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





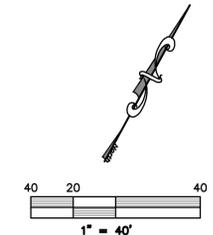
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MATCH BLDG & SELF LATCHING
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EDGE OF EX. PAVING.
SAWCUT & REMOVE EX.
CURB. CONSTRUCT
LONGITUDINAL BUTT

PROPOSED
WHEELSTOPS
@ BLDG

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SITE DATA:

LOT AREA:
5.69 Acres, 247,899 sq. ft.

LOT COVERAGE:
35.64%

FLOOR TO AREA RATIO:
2.8:1

BUILDING AREA:
EX: 52,370 sq.ft.
PROP: 35,980 sq.ft.
TOTAL = 88,350 sq.ft.

CONSTRUCTION TYPE:
XX

BUILDING HEIGHT:
20'

BUILDING SETBACKS:
Front = 25'
Rear = 15'
Side = 15'

PROPOSED USE:
Office/Warehouse

IMPERVIOUS AREA
(including buildings):
xx sq.ft.

ZONING:
LI

PARKING:
Required:
Office 1 space/300
Ex (18450/300) = 62
Prop (25,608/300) = 86
Warehouse 1 space/1000
Ex (33,920/1000) = 34
Prop (10,372/1000) = 11
Handicap = 7
Total required = 193

Provided:
Standard:
Existing 98
Proposed 95
Handicapped = 7
Total Provided = 193

LANDSCAPE AREA:
Required: 37,185 sq.ft. (15%)
Provided: xx sq.ft.

FIRE SPRINKLER:
YES

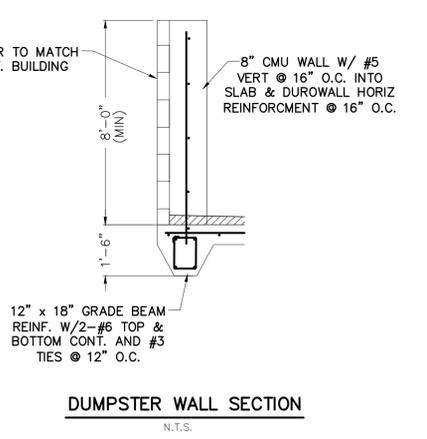
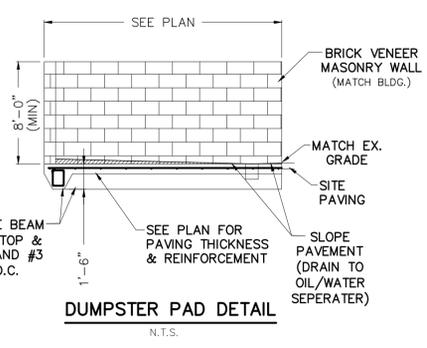
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 9. All electrical transmission, distribution and service lines must be underground.



LEGEND

- = PROPERTY LINE
- EX. W- = EX. WATER LINE
- EX. SS- = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- ∞/WV = EX. WATER VALVE
- PP = EX. POWER POLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EX. STORM MANHOLE
- FH = EX. FIRE HYDRANT
- = PROPOSED FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- RCP = REINFORCED CONCRETE PIPE
- [Pattern] = PROPOSED FIRELANE
- [Pattern] = PROPOSED SIDEWALK

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #

SITE PLAN

OFFICE WAREHOUSE PROJECT

2500 DISCOVERY BLVD
ROCKWALL TECHNOLOGY PARK ADDITION
Lot 2C, Blk D, 5.69 ACRES
City of Rockwall, Rockwall County, Texas 75087

owner
Z06 PROPERTIES, LLC

CONTACT
prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

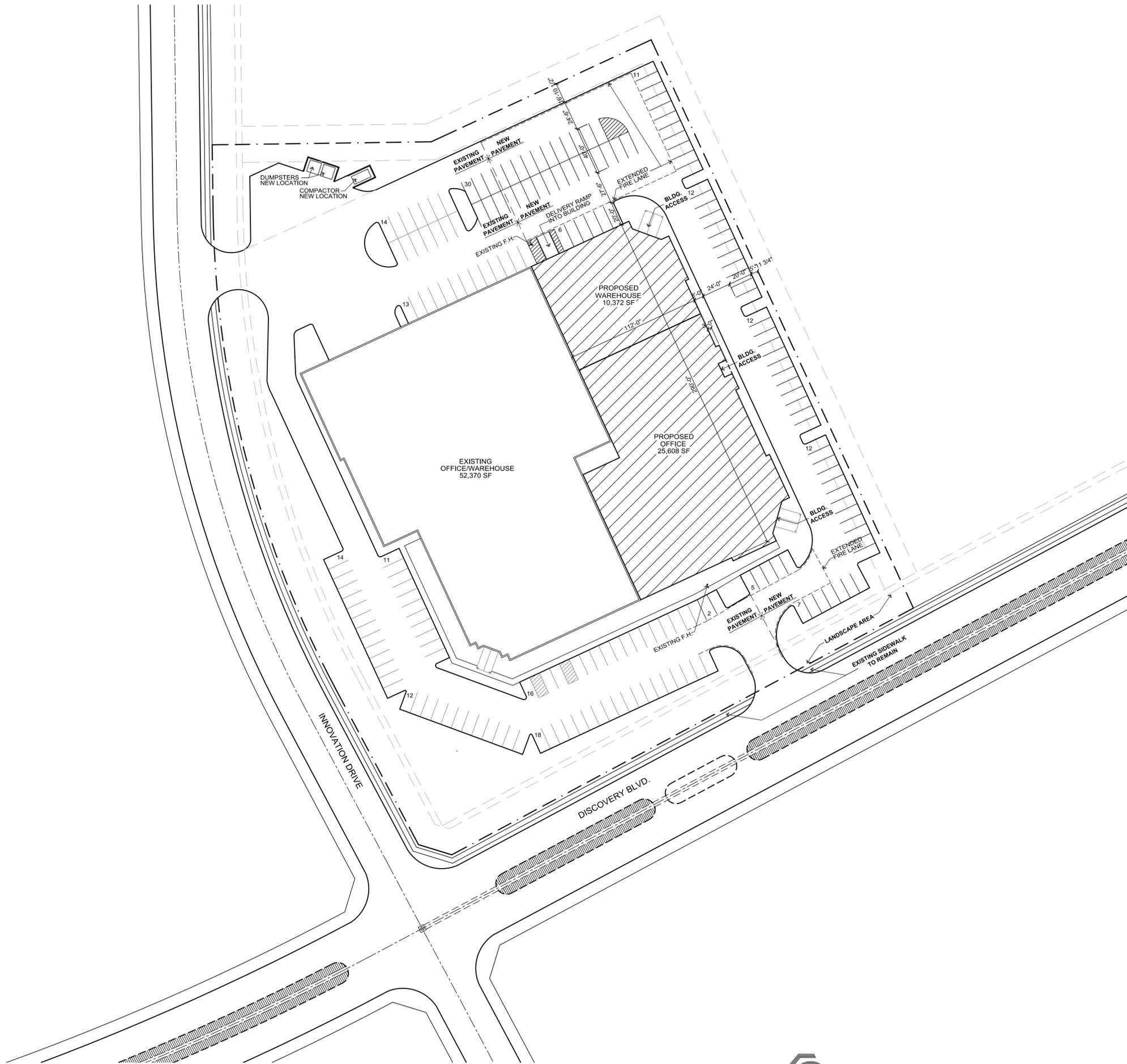
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PROJECT NO.: 2018-15 REG. NO.: F-2567

date: 12/13/18 scale: 1"=40' sheet: C101

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA TABLE	
SITE AREA	5.691 ACRES (247,900 SF)
ZONING	HEAVY INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
PROPOSED BUILDING AREA- OFFICE AREA: WAREHOUSE AREA: TOTAL AREA:	25,608 SF 10,372 SF 35,980 SF
EXISTING BUILDING AREA- OFFICE AREA: WAREHOUSE AREA: TOTAL AREA:	18,450 SF 33,920 SF 52,370 SF
LOT COVERAGE	36%
FLOOR TO AREA RATIO	0.36 : 1
BUILDING HEIGHT	60 ft. MAX

PARKING TABLE	
PROPOSED PARKING- OFFICE PARKING: WAREHOUSE PARKING: TOTAL PARKING:	1:300 = 86 1:1000 = 11 97 SPACES
EXISTING PARKING- OFFICE PARKING: WAREHOUSE PARKING: TOTAL PARKING:	1:300 = 62 1:1000 = 34 96 SPACES
PARKING REQUIRED	193 SPACES (7 ADA)
PARKING PROVIDED	195 SPACES (7 ADA)

ISSUE:	OWNER REVIEW	12-14-2018
	REVISED	11-5-2018

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OFFICE/WAREHOUSE PROJECT
for
ZO6 PROPERTIES LLC.
2500 DISCOVERY BLVD.
ROCKWALL, TX 75032

ZO6 PROPERTIES LLC.
2500 DISCOVERY BLVD.
ROCKWALL, TX

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

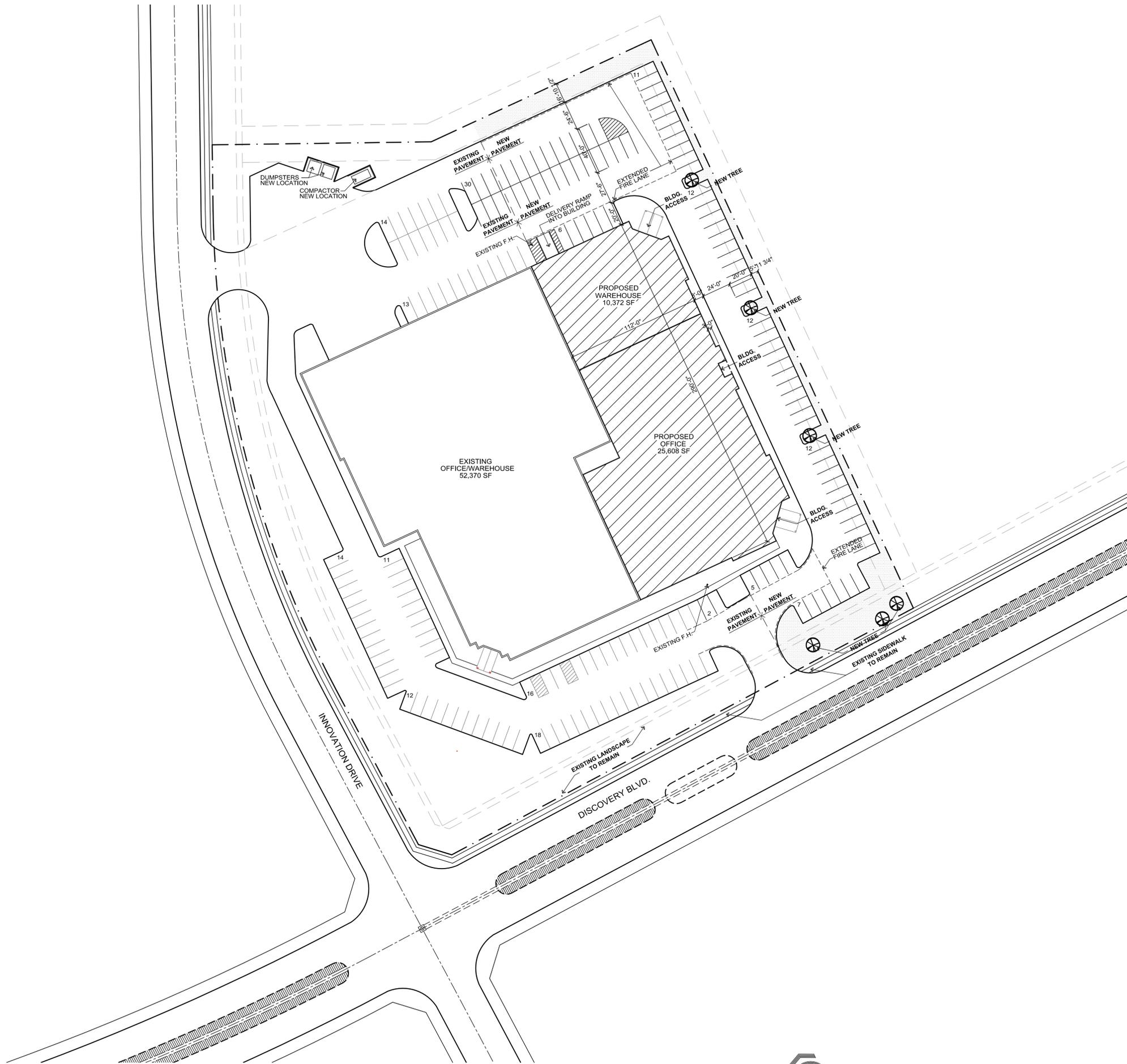
ZO6 Properties LLC.
<small>LEGAL DESCRIPTION AND/OR ADDRESS:</small> LOT 2c, BLOCK D Rockwall Technology Park Rockwall, Texas Volume X, Page XX map of Records of Rockwall County Texas 5.691 Acres
OWNER ZO6 Properties LLC. 2500 Discovery Blvd. Rockwall, TX 75032
APPLICANT Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com
CASE NUMBER 2018XXX

ARCHITECTURAL SITE PLAN

DATE:	DEC 2018	SHEET NO:	A100
PROJECT NO:	2018034		
DRAWN BY:			
CHECKED BY:			







SITE DATA TABLE	
SITE AREA	5.691 ACRES (247,900 SF)
ZONING	HEAVY INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
PROPOSED BUILDING AREA-	
OFFICE AREA:	25,608 SF
WAREHOUSE AREA:	10,372 SF
TOTAL AREA:	35,980 SF
EXISTING BUILDING AREA-	
OFFICE AREA:	18,450 SF
WAREHOUSE AREA:	33,920 SF
TOTAL AREA:	52,370 SF
LOT COVERAGE	36%
FLOOR TO AREA RATIO	0.36 : 1
BUILDING HEIGHT	60 ft. MAX

PARKING TABLE	
PROPOSED PARKING-	
OFFICE PARKING:	1:300 = 86
WAREHOUSE PARKING:	1:1000 = 11
TOTAL PARKING:	97 SPACES
EXISTING PARKING-	
OFFICE PARKING:	1:300 = 62
WAREHOUSE PARKING:	1:1000 = 34
TOTAL PARKING:	96 SPACES
PARKING REQUIRED	193 SPACES (7 ADA)
PARKING PROVIDED	195 SPACES (7 ADA)

LANDSCAPE TABULATION

Gross Area	(5.691 acres)	= 247,899 S.F.
Required Landscape Area - 15% of 247,899 S.F.		= 37,185 S.F.
Provided Landscape Area - 15% of 247,899 S.F.		= 37,185 S.F.
Provided Parking Area Landscape		= 1/12 Spaces Along Side Yard

DESCRIPTION OF NEW LANDSCAPE AREA MATERIAL	QTY
Frontage 115 LF (NIC DRIVES) = 3 trees - Live Oak, 3" caliper	3 Each
Parking Area = 3 trees - Live Oak, 3" caliper	3 Each
Grass to match existing species onsite	10,558 S.F.

NOTES:
 - IRRIGATION SHALL BE PROVIDED TO ALL LANDSCAPED AREAS
 - TREESCAPE PLAN - NO EXISTING TREES

ZO6 Properties LLC.	
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 2c, BLOCK D Rockwall Technology Park Rockwall, Texas Volume X, Page XX map of Records of Rockwall County Texas 5.691 Acres	
OWNER	
Z06 Properties LLC. 2500 Discovery Blvd. Rockwall, TX 75032	
APPLICANT	
Carroll Architects, INC 750 E. Interstate 30 Suite 110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com	
CASE NUMBER	
2018XXX	

ISSUE: OWNER REVIEW 12-14-2018

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OFFICE/WAREHOUSE PROJECT
 for
ZO6 PROPERTIES LLC.
2500 DISCOVERY BLVD.
ROCKWALL, TX 75032

ZO6 PROPERTIES LLC.
 2500 DISCOVERY BLVD.
 ROCKWALL, TX

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

LANDSCAPING PLAN

DATE: DEC 2018 SHEET NO:
 PROJECT NO: 2018034
 DRAWN BY:
 CHECKED BY:



1 LANDSCAPING PLAN
 SCALE: 1:40

L1

City of Rockwall Project Plan Review History



Project Number SP2018-043	Owner PATMAN, CONNOR W JR	Applied 12/17/2018 LM
Project Name Harbor Village	Applicant PEGASUS ABLON	Approved
Type SITE PLAN		Closed
Subtype		Expired
Status Staff Review		Status
 Site Address 2600 LAKEFRONT TRL		Zoning
	City, State Zip Rockwall, TX 75032	
Subdivision HARBOR ADDITION	Tract	General Plan
	Block NULL	Parcel No 0012-0000-0011-01-0R
	Lot No	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/17/2018	12/24/2018	12/18/2018	1	APPROVED	
ENGINEERING	Sarah Hager	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(12/18/2018 4:40 PM LS) Address assignment will be: 2600 LAKEFRONT TRAIL, ROCKWALL, TX 75032						
<p>Unit / Suite /Apartment numbers. Each unit in each multiple-unit building shall be assigned a single unit / suite / apartment number, and each unit / suite number / apartment shall be assigned based on the following rules:</p> <p>1) Unit numbers should be sequenced and patterned in a logical, systematic, and intuitively clear way. No alphabetical characters (e.g. A, B, C, D, etc.) shall be used in any address or unit description. Exception is for utility installations, and only as a last resort.</p> <p>2) Increment and assign unit numbers in one single, continuous sweep for the entire building and / or site. This includes multiple building sites and means that each unit number will be unique on the whole site. Avoid oscillating back and forth across the building and / or site.</p> <p>3) If there are ninety-nine (99) or fewer units on each floor of a multiple-unit building, then each unit will be assigned a three-digit unit number with the first digit representing the number of the floor on which the unit is located and the number represented by the final two digits being different from the number assigned to any other unit on the same floor. For example, the first-floor units will be assigned a unit number between 101 and 199; the second-floor units (if any) will be assigned a unit number between 201 and 299, and so forth.</p> <p>4) If there are more than ninety-nine (99) units on any one floor of a multiple-unit building, then each unit will be assigned a four-digit unit number with the first digit representing the number of the floor on which the unit is located and the number represented by the final three digits being different from the number assigned to any other unit on the same floor. For example, the first-floor units will be assigned a unit number between 1001 and 1999; the second-floor units (if any) will be assigned a unit number between 2001 and 2999, and so forth. For multiple-unit buildings containing five floors or more, unit numbers shall be proposed by the owner and approved by the GIS Division.</p> <p>5) Assignment of unit numbers shall take into consideration the potential for future additional space divisions, and numbers may be skipped in order to provide for such potential additions, although sequential order shall be maintained in assigning unit numbers.</p> <p>6) Rooms intended and used for a primary purpose other than human occupancy, such as custodial closets, housekeeping rooms, utility closets, etc., shall be identified with a simple description and shall not be assigned a unit number.</p>						
PLANNING	David Gonzales	12/17/2018	12/24/2018	12/19/2018	2 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
------------------------	---------	------	-----	----------	----------------	---------

Discuss and consider a request by Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a site plan for a 375-unit condominium building on a 6.2-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Thursday January 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

** Planning Department General Comments & Requirements to address/acknowledge:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a separate Streetscape Plan as per the requirements of PD-32 [see Ord. 17-22: Exhibit 'C-4 for elements to be included on this plan].
3. Adherence to the PD-32 Design Guidelines outlined in Resolution No. 10-40.
- 4 Adherence to the conditions as outlined in the approved PD Development Plan [Ord. No. 17-64]
5. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
6. Label all revised site plan documents with "Case No. SP2018-043" at the lower right corner of each plan.
7. Adherence to the Parks and Recreation Board recommendations for park fees associated with this development for Park District No. 17. See schedule below for date of meeting.
8. All exterior signage requires submittal and approval of a separate building permit through the Building Inspections Department.

WAIVERS OF DESIGN STANDARDS TO BE CONSIDERED BY THE CITY COUNCIL:

1. Landscape Standards - associated with the overflow parking that require one (1)-three (3) inch, 65 gallon tree per eight surface parking spaces. How many surface parking spaces are located on the overflow parking area? If these trees have been provided within the development, please note that on the plan(s). If not, a waiver to this standard is required. See Exhibit 'F-1' of Ord. No. 17-22.
2. Parking Garage Design Standards - for the proposed two level parking structure:
 - a. must have precast spandrel panels with detailing to screen parked vehicles.
 - b. must be screened with greenscapeing that covers a minimum of 25% of the facade(s) where vehicles are visible. Provide calculation of green materials meeting conformance to these standards. See Ord. No. 17-22.
3. Harbor Residential Sub-District - requires the height of the 1st floor to be a minimum of 15-feet for retail, restaurant, & residential uses. The first floor does not meet this standard. See Exhibit 'E-1' of Ord. No. 17-22.

** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

Site Plan:

1. Provide a Building Tabulation Legend indicating unit types, number of units on each floor, square footages of each unit type, and the overall square footage of the entire building(s).
2. Eight (8) foot sidewalks required along Lakefront Trail and the IH-30 Frontage Road. Site plan indicates 7 1/2-ft sidewalk, with a small portion wrapped around along IH-30 Frontage Road.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Landscape Plan:

1. The landscape details/treescape plan as submitted indicates that mitigation for the site has been met and is considered to be satisfied.
2. See requirements for the addition of landscape trees within the overflow parking garage. This requirement pertains to "surface" parking only. Provide details meeting these standards.
3. Provide tree leave-outs [4-ft x 8ft] spaced at 30-ft o.c. along Lakefront Trail, and for all other street trees per the required Streetscape Plan.

Photometric Plan:

1. The pedestrian scaled light fixtures are to be spaced at 60-ft o.c. Provide detail.
2. See requirements for lighting fixtures in Exhibit 'C-4' of Ord. No. 17-22 [i.e. pedestrian scale & parking lot lighting]. Lighting cut sheets do not meet this requirement.
3. Provide light pole detail meeting the standards of Exhibit 'C-4'.

Building Elevations:

1. All roof-top mechanical equipment requires screening from rights-of-way and adjacent properties. Provide a roof plan indicating location of units and dash-in RTU's on elevations. Provide detail of screening mechanism to be used if these are not properly screened.
2. The building elevations require review from the Architectural Review Board (ARB) and a recommendation forwarded to the Planning and Zoning Commission.
3. Provide a materials sample board for ARB review of the actual materials (see meeting dates below).
4. Is the stone on the building a natural stone product?
5. Is the stucco a 3-part stucco application?
6. The following elevations do not meet the minimum 20% stone requirement and will require approval of a variance by the Planning and Zoning Commission:
 - a. Sheet A4-10 - elevation no. 2 = 19% [elevation faces the pedestrian walkway]
 - b. Sheet A4-11 - elevation no. 5 = 16% [elevation faces commercial properties to south]
 - c. Sheet A4-12 - elevation no. 3 = 9% [elevation faces commercial properties to south]
 - d. Sheet A4-12 - elevation no. 4 = 18% [elevation is visible from commercial properties to south]
 - e. Sheet A4-13 - elevation no. 1 = 18% [elevation includes the parking garage that faces the IH-30 frontage road].

** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Meeting Dates to Attend:

Architectural Review Board: January 2, 2019(5:00 p.m.) [Applicant to receive recommendations from ARB]

Planning - Work Session: January 2, 2019 (6:00p.m.) [Applicant to present/discuss project with P&Z]

Parks and Recreations Board : January 3, 2019 (6:00p.m.) [PRB to assess park fees]

Architectural Review Board: January 15, 2019 (5:00 p.m.) [Subsequent meeting if necessary]

Planning - Action: January 15, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

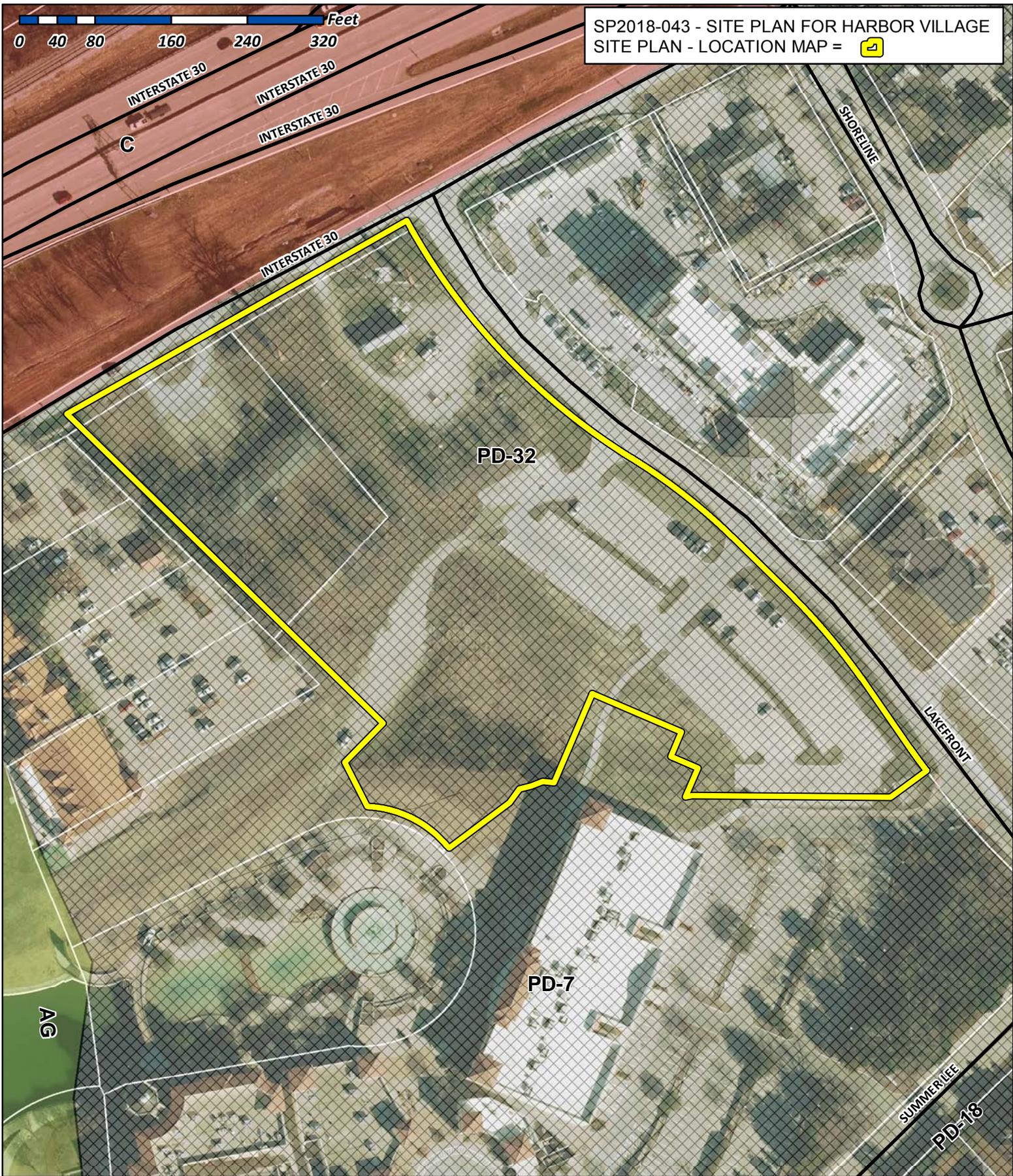
** City Council - Action: Tuesday, January 22, 2019 (6:00 p.m.) [FOR WAIVERS TO PD-32 ONLY] **

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(12/27/2018 11:59 AM SH)						
<ul style="list-style-type: none"> - Trees must not be too close to fire lane. Fire trucks must be able to travel through. - 10' between water and sewer required unless sewer is steel encased for the entire length. - Stub out a 12" water line towards the lake. (See markup) - Fire Lane to have 30' Radii on all curves. - Label the water line under the fire lane as 12". - Show/Label the 20' sewer easement along the edge of the Cinemark property. - All parking in the garage to be 20'x9'. Label these distances. - Show/Label the driveway spacing to each of the nearest driveways. <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees - Impact Fees - Waters of the US study required. - TxDOT permit required. - Traffic Impact Analysis required. - Water must be bored under Lakeview Trail. - Existing sewer line must be relocated and easements re-established. - Sewer Pro-Rata \$7226.59/acre. - Parking to be 20'x9' with 24' drive isles even in parking garages. One-way traffic may have 14.5' min. drive isles for 60 degree angled parking. Angled parking to be 20.1' deep. Parallel parking (on street) to be 22'x9'. - No dead end parking allowed. - Fire Lane turn radii must be 30' minimum. - Need offsite fire line and accessibility easement. - All electrical/franchise utility line to be underground. - No structures in easements. Min. easement width is 20'. - Retaining walls 3' and taller must be designed by a structural engineer. - All walls must be rock or stone face. No smooth concrete walls. - Dumpster to drain to an oil/water separator. - No trees within 5' of public utilities. - Must meet City of Rockwall Standards of Design. 						
FIRE	Ariana Hargrove	12/17/2018	12/24/2018	12/21/2018	4 APPROVED	
GIS	Lance Singleton	12/17/2018	12/24/2018	12/18/2018	1 APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
** City Council - Action: Tuesday, January 22, 2019 (6:00 p.m.) [FOR VARIANCE REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						

0 40 80 160 240 320 Feet

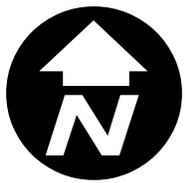
SP2018-043 - SITE PLAN FOR HARBOR VILLAGE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C2	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E

LINE TABLE		
LINE #	BEARING	DISTANCE
L9	S79°07'41"W	7.21'
L10	N23°10'29"E	32.93'
L11	N66°36'24"W	31.00'
L12	N23°10'29"E	27.95'
L13	N82°38'15"W	11.76'
L14	S68°52'14"W	13.20'
L15	S75°08'27"W	12.97'
L16	S36°32'06"W	17.64'

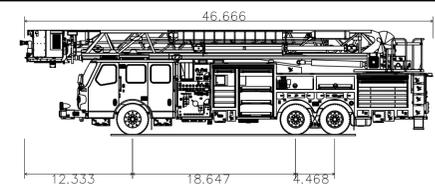
SITE DATA TABLE	
HARBOR VILLAGE - ROCKWALL	
HARBOR - ROCKWALL ADDITION	6.200 ACRES
LOT 9A, BLOCK A	270,065 SQ-FT
BUILDING AREA	127,000 SQ-FT
USE	DWELLING UNITS
COVERAGE	47.03%
TOTAL NUMBER OF UNITS	375 UNITS
REQUIRED PARKING RATIO	1.5 PER UNIT
PARKING REQUIRED	563 SPACES
OFF-STREET PARKING PROVIDED	563 SPACES
ON-STREET PARKING PROVIDED	32 SPACES
TOTAL PARKING PROVIDED	595 SPACES
OFF-STREET PROVIDED PARKING RATIO	1.5 PER UNIT
HANDICAP REQUIRED	12 SPACES
HANDICAP PROVIDED	12 SPACES
OVERFLOW PARKING PROVIDED	180 SPACES
* PARKING PROVIDED TOTAL INCLUDES ACCESSIBILITY PARKING	

INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

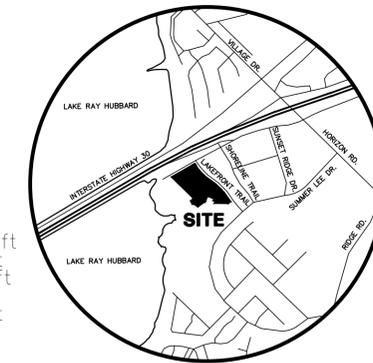
LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LOT 9A, BLOCK A
6.200 AC.
(270,065 S.F.)

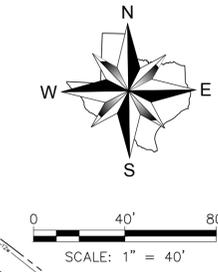
LOT 9B, BLOCK A
1.158 AC.
(50,453 S.F.)



E-ONE HP100 Platform
Overall Length 46.666ft
Overall Width 12.333ft
Overall Body Height 18.647ft
Min Body Ground Clearance 4.468ft
Track Width 18.647ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°



VICINITY MAP
NOT TO SCALE



*****NOTICES TO CONTRACTOR*****

EXISTING UNDERGROUND/BURIED PUBLIC, PRIVATE, AND FRANCHISE UTILITIES/FACILITIES AFFECT THIS SITE, AND ARE DEPICTED ON THE PLANS PER THE BEST AVAILABLE INFORMATION AT THE TIME THE PLANS WERE PRODUCED. WINKELMANN & ASSOC., INC. SHALL NOT BE RESPONSIBLE FOR KNOWING THE EXACT LOCATION OF ALL FACILITIES OR DEPICTING EXACT LOCATIONS OF SAID FACILITIES ON THE PLANS BEYOND WHAT IS STATED ABOVE.

CONTRACTOR(S) SHALL CALL "811" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK ON THE SITE, AND SHALL NOT BEGIN ANY EXCAVATION OR DEMOLITION ACTIVITIES UNTIL AFTER SAID FACILITIES HAVE BEEN MARKED AND/OR FLAGGED PER "811" OR THE FACILITY OWNERS.

CONTRACTOR(S) SHALL BE WHOLLY RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO SAID FACILITIES DUE TO WORK BEING DONE WITHOUT FOLLOWING THE PROCEDURES ABOVE.



$\Delta=009^{\circ}44'28''$
 $R=680.00'$
 $L=115.61'$
 $Ch L=115.47'$
 $Ch B=S40^{\circ}10'38''E$

$\Delta=002^{\circ}30'4''$
 $R=680.00'$
 $L=29.80'$
 $Ch L=29.8'$
 $Ch B=S36'$

LEGEND			
PP	Power Pole	IRF	Iron Rod Found
CW	Cable Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XCS	X-cut in Concrete Set
WM	Water Meter	XCF	X-cut in Concrete Found
FH	Fire Hydrant	PKS	PK Nail Set
LP	Light Pole	PKF	PK Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	GM	Gas Meter pad
TV	Cable Box	GMK	Gas Marker
SB	Signal Box	TSN	Traffic Sign
SP	Signal Pole	UGC	Underground Cable Marker
SN	Sign	EM	Electric Meter
CM	Control Monument		

DEVELOPER
PEGASUS ABLOM
KEVIN HICKMAN
8222 DOUGLAS AVENUE,
SUITE 390
DALLAS, TX 75225
214-389-6901

OWNER
ROCKWALL RENTAL PROPERTIES, LP
1608 WEST MOORE,
DRAWER B
TERREL, TX 75160
972-210-0331

Winkelmann & Associates, Inc.

CONSULTING CIVIL ENGINEERS
SURVEYORS
1100 WEST HICKORY AVENUE, SUITE 200
DALLAS, TEXAS 75205
(972) 496-7999
(972) 496-7999 FAX
COPR #00122018, Winkelman & Associates, Inc.

THESE PLANS WERE PREPARED UNDER THE DIRECT SUPERVISION OF MICHAEL T. DOUGETT, P.E. #98628. THESE ARE ISSUED FOR INTERMEDIATE PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.

12-14-2018

SITE PLAN

HARBOR VILLAGE
ROCKWALL, TEXAS

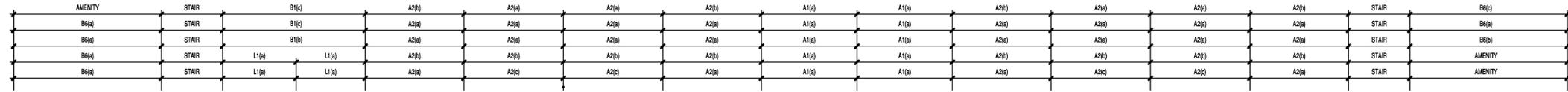
DATE: 12/14/2018
REVISION: 1
MD
APPROV:

LAKE RAY HUBBARD



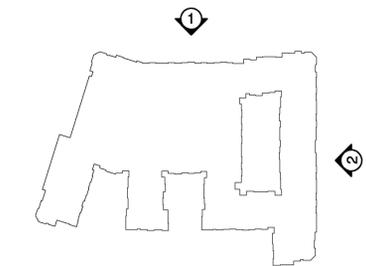
1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	6,941 S.F.	45%
BRICK	3,615 S.F.	23%
STONE	3,472 S.F.	22%
SPLIT FACE CMU	1,593 S.F.	10%
TOTAL	15,621 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	6,318 S.F.	44%
BRICK	3,788 S.F.	27%
STONE	2,661 S.F.	19%
SPLIT FACE CMU	1,396 S.F.	10%
TOTAL	14,163 S.F.	100%



3 BUILDING KEY

REVISIONS

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
12-14-18

BGO ARCHITECTS
4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

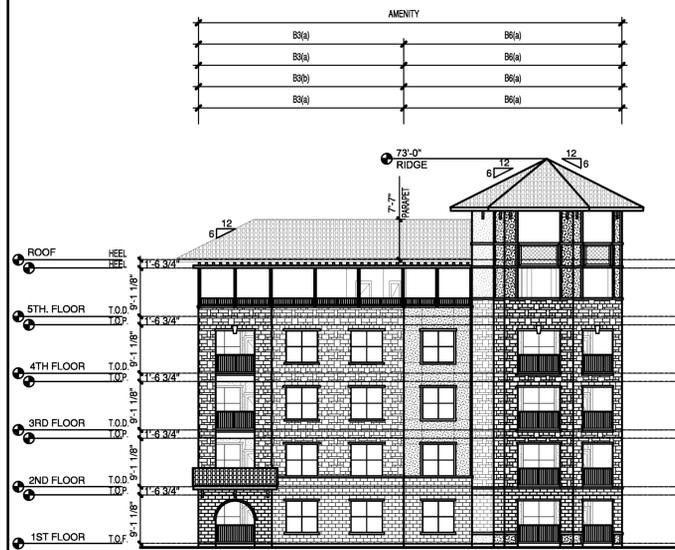
DATE
12-14-18

PROJECT
17126

SHEET NUMBER

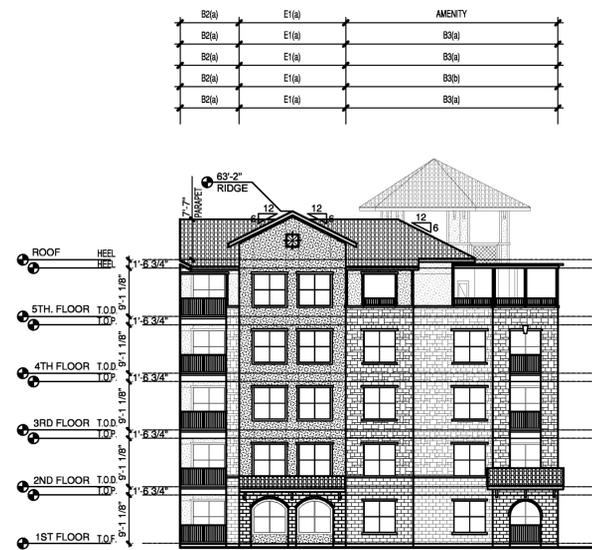
A4-10
BUILDING
ELEVATION

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1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	794 S.F.	29%
BRICK	0 S.F.	0%
STONE	1,410 S.F.	51%
SPLIT FACE CMU	576 S.F.	20%
TOTAL	2,780 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	996 S.F.	43%
BRICK	0 S.F.	0%
STONE	933 S.F.	40%
SPLIT FACE CMU	417 S.F.	17%
TOTAL	2,346 S.F.	100%



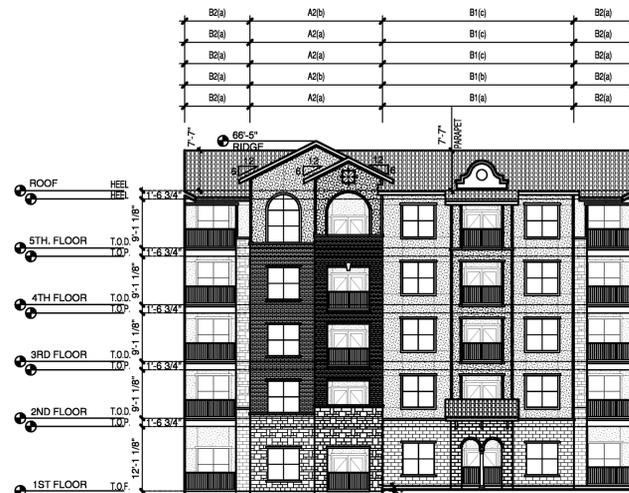
3 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,014 S.F.	40%
BRICK	930 S.F.	19%
STONE	1,408 S.F.	28%
SPLIT FACE CMU	676 S.F.	13%
TOTAL	5,028 S.F.	100%



4 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,831 S.F.	46%
BRICK	365 S.F.	10%
STONE	992 S.F.	25%
SPLIT FACE CMU	766 S.F.	19%
TOTAL	3,954 S.F.	100%



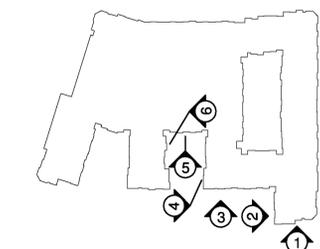
5 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,425 S.F.	52%
BRICK	492 S.F.	18%
STONE	434 S.F.	16%
SPLIT FACE CMU	373 S.F.	14%
TOTAL	2,724 S.F.	100%



6 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,134 S.F.	27%
BRICK	1,024 S.F.	24%
STONE	1,515 S.F.	35%
SPLIT FACE CMU	596 S.F.	14%
TOTAL	4,269 S.F.	100%



7 BUILDING KEY

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

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12-14-18

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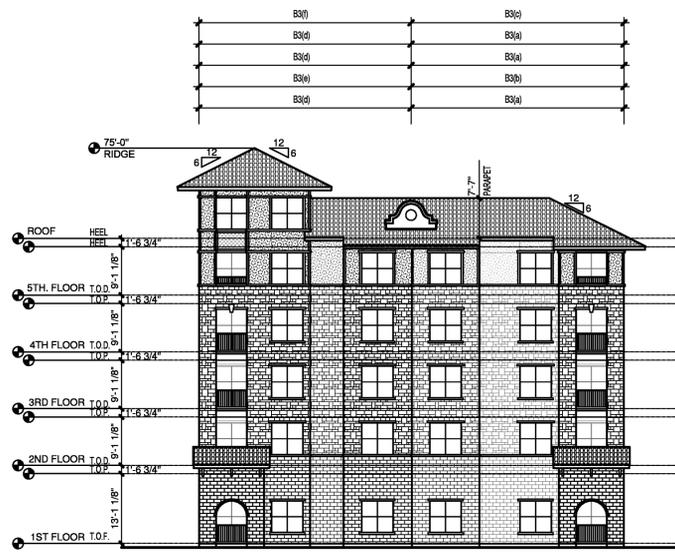
PROJECT

17126

SHEET NUMBER

A4-11

BUILDING
ELEVATION



1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	778 S.F.	22%
BRICK	0 S.F.	0%
STONE	1,712 S.F.	50%
SPLIT FACE CMU	1,004 S.F.	28%
TOTAL	3,494 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,215 S.F.	52%
BRICK	394 S.F.	9%
STONE	850 S.F.	20%
SPLIT FACE CMU	819 S.F.	19%
TOTAL	4,278 S.F.	100%



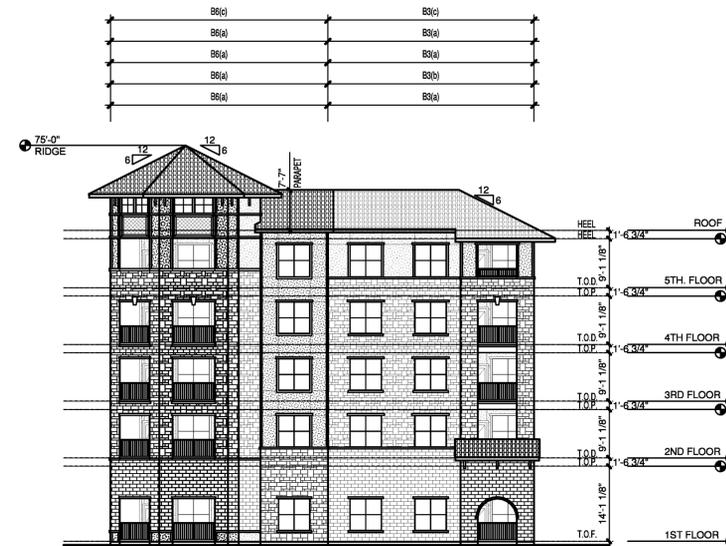
3 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,283 S.F.	68%
BRICK	0 S.F.	0%
STONE	161 S.F.	9%
SPLIT FACE CMU	443 S.F.	23%
TOTAL	1,887 S.F.	100%



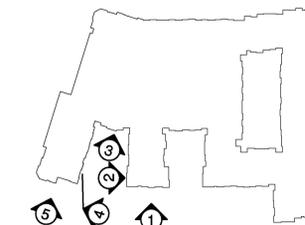
4 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,155 S.F.	43%
BRICK	492 S.F.	10%
STONE	932 S.F.	18%
SPLIT FACE CMU	1,439 S.F.	29%
TOTAL	5,018 S.F.	100%



5 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,089 S.F.	31%
BRICK	0 S.F.	0%
STONE	1,596 S.F.	46%
SPLIT FACE CMU	793 S.F.	23%
TOTAL	3,478 S.F.	100%



6 BUILDING KEY

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
12-14-18

BGO ARCHITECTS

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DATE

12-14-18

PROJECT

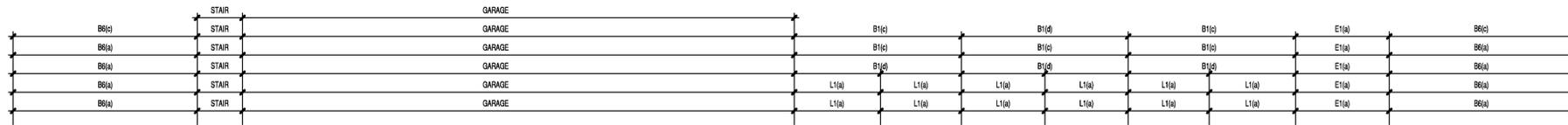
17126

SHEET NUMBER

A4-12

BUILDING ELEVATION

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1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	7,289 S.F.	50%
BRICK	1,481 S.F.	10%
STONE	2,567 S.F.	18%
SPLIT FACE CMU	3,230 S.F.	22%
TOTAL	14,567 S.F.	100%

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABILON

ISSUED FOR:
SITE PLAN APPROVAL
12-14-18

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12-14-18

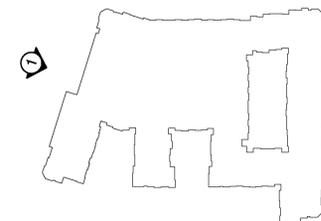
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SHEET NUMBER

A4-13

BUILDING
ELEVATION

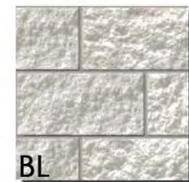


2 BUILDING KEY

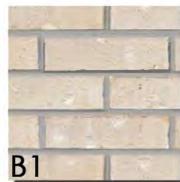
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TILE ROOF BRICK STONE STONE CMU STUCCO STUCCO STUCCO



BL
BLOCK
FEATHERLINE
TEXAS CREAM



B1
BRICK
ACME
WINTERSTONE
KING SIZE



ST
STONE
NEVLSTONE
AUSTIN STONE
KALAHARI

P1
STUCCO BODY, WINDOW
TRIM, DOOR TRIM
SHERWIN WILLIAMS
IBIS WHITE
SW 7000



P2
STUCCO BODY, WINDOW
TRIM, BANDING
SHERWIN WILLIAMS
PATIENCE
SW 7555



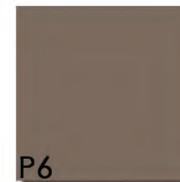
P3
FASCIA, EAVES, SOFFIT,
GUTTER, BRACKETS, TRIM
SHERWIN WILLIAMS
MEADOWLARK
SW 7522



P4
ORNAMENTS, TILE
SHERWIN WILLIAMS
LEISURE BLUE
SW6515



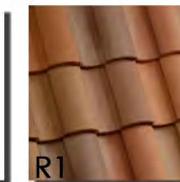
P5
FABRIC AWNINGS
SHERWIN WILLIAMS
SALUTE
SW 7582



P6
RAILINGS, METAL FEATURE
SHERWIN WILLIAMS
GARRET GRAY
SW 6075



W1
WINDOWS
PLY-GEN OR EQUAL
WHITE



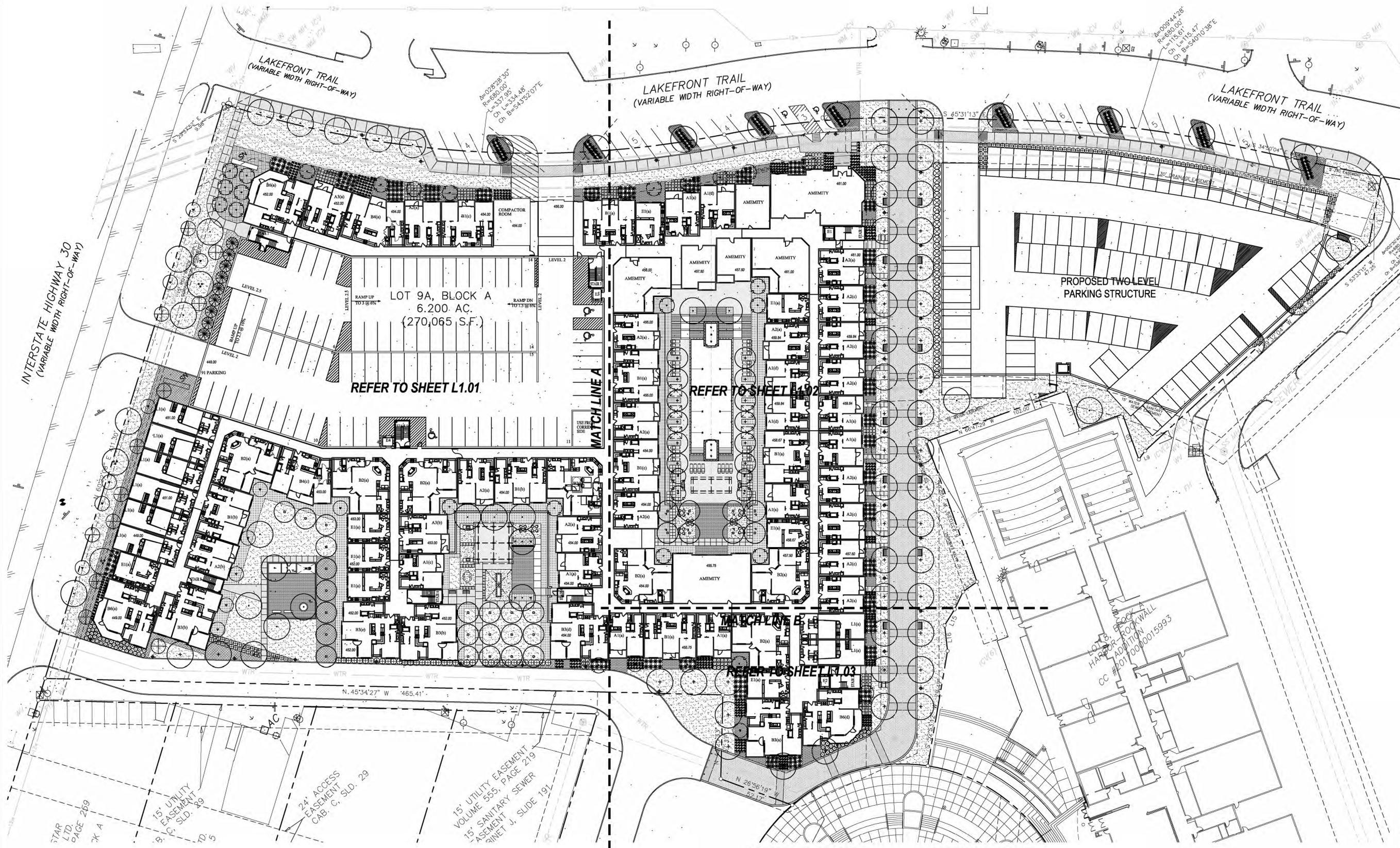
R1
BARREL CONCRETE ROOF
TILE
EAGLE ROOFING PRODUCTS
CAPISTRANO PROFILE
LCC 8806 TUSCON BLEND



D1
DOWNSPOUT
SENOX OR EQUAL
RAFFIA BEIGE

HARBOR VILLAGE DWELLING UNITS MATERIAL BOARD

ROCKWALL, TEXAS



INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LOT 9A, BLOCK A
6.200 AC.
(270,065 S.F.)
REFER TO SHEET L1.01

PROPOSED TWO LEVEL
PARKING STRUCTURE

MATCHLINE A

REFER TO SHEET L1.02

MATCHLINE B

REFER TO SHEET L1.03

LOT 18
HARBOR VILLAGE
ROCKWALL
ADDITION
CC # 001000001599.3

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C2	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E

LINE #	BEARING	DISTANCE
L9	S79°07'41"W	7.21'
L10	N23°10'29"E	32.93'
L11	N66°36'24"W	31.00'
L12	N23°10'29"E	27.95'
L13	N82°38'15"W	11.76'
L14	S68°52'14"W	13.20'
L15	S75°08'27"W	12.97'
L16	S36°32'06"W	17.64'

LANDSCAPE TABULATIONS: PD-32

SITE REQUIREMENTS (site area 270,065 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
40,059 s.f. (15%)	55,414 s.f. (20.5%)

STREET REQUIREMENTS:
Requirements: (2) canopy trees and (4) accent trees per 100 Lf. of IH 30 Frontage

IH 30 FRONTAGE ROAD (411.30 Lf. / IH 30 OVERLAY)
Required: (8) canopy trees, 4" cal. (32) accent trees, 8" ht. / 10' ht.
Provided: (8) canopy trees, 4" cal. (32) accent trees, 8" ht. / 10' ht.

Requirements: (1) canopy tree, Live Oak; per 52 Lf. of frontage: PD 32

LAKE FRONT TRAIL (773.73 Lf.)
Required: (15) canopy trees
Provided: (16) canopy trees

PARKING LOT: N/A TWO STORY PARKING GARAGE

ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES

ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING

IRRIGATION WILL BE PROVIDED AND MEET UDC REQUIREMENTS

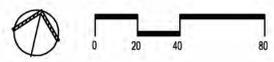
OWNER:
BHFS I & BHFS IV
15601 DALLAS PARKWAY STE. 600
ADDISON, TX 75001

DEVELOPER:
PEGASUS ABLON
8222 DOUGLAS AVENUE, SUITE 380 DALLAS, TX 75225
(214) 389-6901

ENGINEER/SURVEYOR:
WINKELMANN & ASSOCIATES INC. 6750
HILLCREST PLAZA DR. # 325 DALLAS, TEXAS
75207
(972) 490-7090



01 OVERALL LANDSCAPE SITE PLAN
SCALE: 1" = 40'-0"



REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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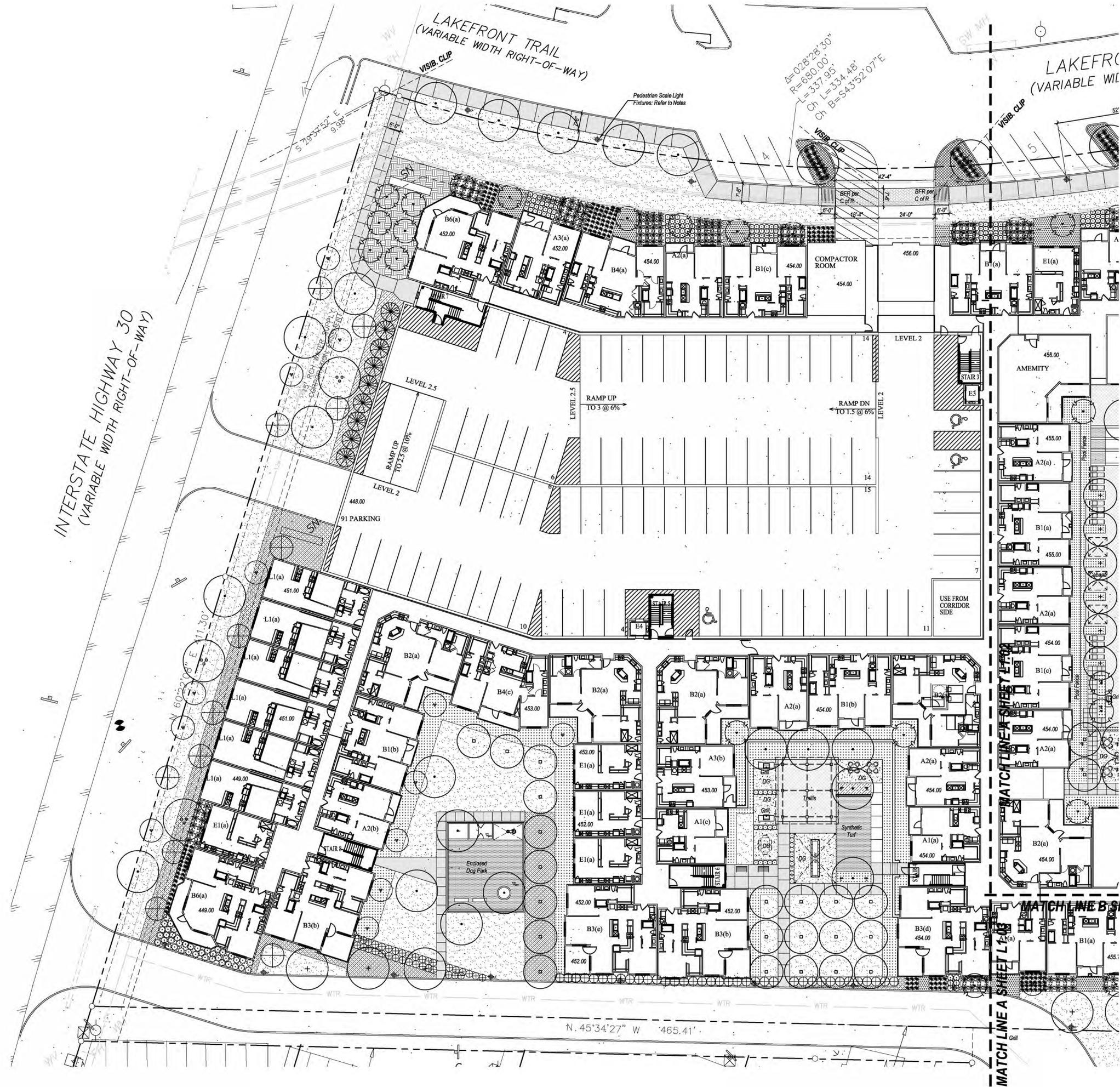
DATE
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PROJECT
17126

SHEET NUMBER
L1.00

SHEET # = SANSERIFF
SHEET NAME
= SANSERIFF

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- LIGHTING NOTES**
- Lights shall be:
 - Pedestrian Scale Light:
BEGA 9701 MH 100W MH
BEGA 1108 HR 11'-8" tapered round pole with integral banner arms
 - Tree uplights in ROW to be:
BK Lighting - B-K HP2-PAR202-TR-59-SAP-11
 - Contractor is responsible for supplying all material and labor to provide finished lighting as per plan.
 - Contractor is responsible for providing all equipment necessary for the complete installation of the lighting system including, but not limited to: fixtures, lamps, switches, controls, wiring, conduits, etc.
 - Contractor shall obtain all necessary permits and adhere to all Local, State and Federal Codes and Standards, and Development Guidelines (if any).
 - Contractor is responsible for reviewing the Manufacturer's Specifications and installing lights and wires per such specifications.
 - Contractor is responsible for wiring lights to timer and electric eye for operation, or as shown on the electrical drawings.

- BENCHES**
- Benches shall be:
LANDSCAPE FORMS
SCARBOROUGH SERIES BACKLESS 22 X 18 X 72
ALUMINUM, SURFACE MOUNT, MOSS GREY
TOTAL OF (22)
 - Contractor shall provide turn-key installation of all benches including, but not limited to, shipment, handling, placement, etc.

- BIKE RACK NOTES**
- BIKE RACKS shall be:
FORMS + SURFACES:
TRICY Powdercoat: Moss Grey
embed mount
Total of (6); two per rack

- PET WASTE STATION NOTES**
- Pet Waste Stations shall be:
ZERO WASTE USA
The Sentry Pet Waste Station (#LJ006) ZW Green
www.zerowasteusa.com / 1.800.789.2553
TOTAL OF (2) IN DOG PARK AREA
 - Contractor shall provide turn-key installation including, but not limited to, shipment, handling, placement, etc.

- BOLLARD NOTES**
- BOLLARDS shall be:
HESS AMERICA:
PARIS 1100 - B' Removable
Powdercoat: Moss Grey / 43.3" ht. x 3.9" dia.
Total of (10)

GRAPHIC PLANT LEGEND

- ⊕ BALD CYPRESS
- ⊙ RED OAK
- CEDAR ELM
- ⊙ LIVE OAK
- ⊙ OCTOBER GLORY RED MAPLE
- ⊕ VITEX
- ⊙ REDBUD
- ⊙ CREPE MYRTLE
- ⊙ CHERRY LAUREL
- ⊕ NELIE R. STEVENS HOLLY
- ⊙ HEAVY METAL SWITCHGRASS
- ⊙ GULF MUHLY
- ⊙ RED YUCCA
- ⊙ HAMELN GRASS
- ⊙ SALVIA
- ⊙ MEXICAN FEATHER GRASS
- ⊙ BERKELEY SEDGE
- ⊙ WINTERCREEPER
- ⊙ LAWN, SOLID SOD
- ⊙ PLANTING BEDS
Shrubs and Groundcover

GRAPHIC SITE LEGEND

- ▨ PAVESTONE PAVER TYPE 'A'
"Holland 98 Parkway Provenza"
"Antique Terra-cotta": 8 cm
Herringbone Pattern on concrete sub-base
- ▨ PAVESTONE PAVER TYPE 'A'
"Holland 98 Parkway Provenza"
"Antique Terra-cotta": 8 cm
Running Bond Pattern on concrete sub-base
- ▨ PAVESTONE PAVER TYPE POOL COURTYARD
ON CONCRETE SUB-BASE
- ▨ CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: "COACHELLA SAND"
- ▨ CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: "CHARCOAL"
- ▨ PEDESTRIAN BENCHES
REFER TO NOTES
- ⊕ PEDESTRIAN SCALE LIGHTS
REFER TO NOTES

REFER TO SHEET L1.03 FOR PLANT LIST

REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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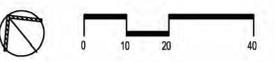
SHEET NUMBER

L1.01
SHEET # = SANSERIFF

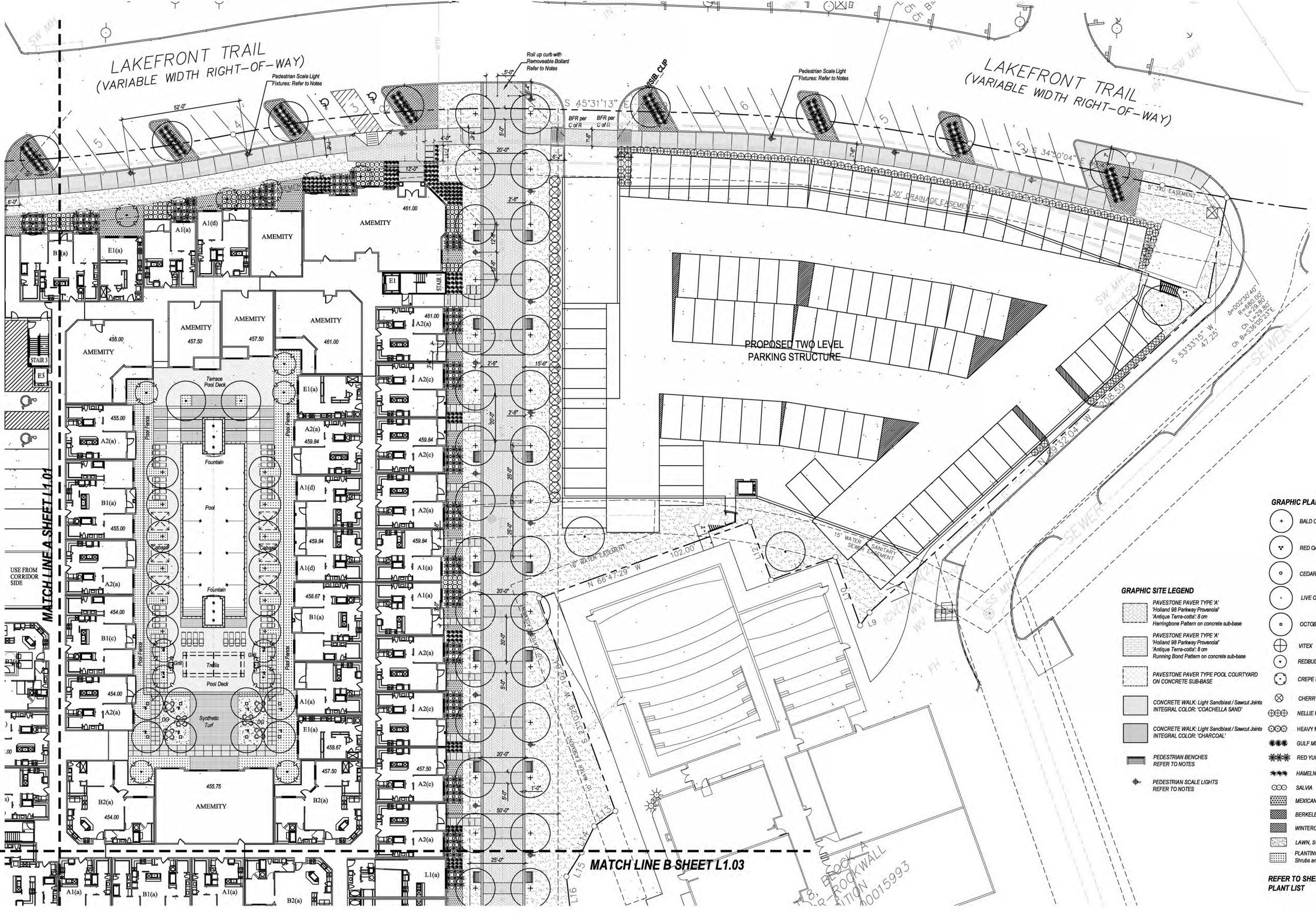
SHEET NAME
= SANSERIFF



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



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- GRAPHIC PLANT LEGEND**
- BALD CYPRESS
 - RED OAK
 - CEDAR ELM
 - LIVE OAK
 - OCTOBER GLORY RED MAPLE
 - VITEX
 - REDBUD
 - CREPE MYRTLE
 - CHERRY LAUREL
 - NELLIE R. STEVENS HOLLY
 - HEAVY METAL SWITCHGRASS
 - GULF MUHLY
 - RED YUCCA
 - HAMELN GRASS
 - SALVIA
 - MEXICAN FEATHER GRASS
 - BERKELEY SEDGE
 - WINTERCREEPER
 - LAWN, SOLID SOD
 - PLANTING BEDS
Shrubs and Groundcover
- REFER TO SHEET L1.03 FOR PLANT LIST**

- GRAPHIC SITE LEGEND**
- PAVESTONE PAVER TYPE 'A'
'Holland 98 Parkway Provincial'
Antique Terra-cotta: 8 cm
Herringbone Pattern on concrete sub-base
 - PAVESTONE PAVER TYPE POOL COURTYARD
ON CONCRETE SUB-BASE
 - CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: 'COACHELLA SAND'
 - CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: 'CHARCOAL'
 - PEDESTRIAN BENCHES
REFER TO NOTES
 - PEDESTRIAN SCALE LIGHTS
REFER TO NOTES

REVISIONS

NO.	DESCRIPTION

HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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 landscape architects, inc.
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 Fax: 214.871.1595
 Email: smr@smr-la.com

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DATE: 12-14-18

PROJECT: 17126

SHEET NUMBER: **L1.02**
 SHEET # = SANSEIFF

SHEET NAME: = SANSEIFF



01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

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CONCRETE NOTES

- All concrete shall be in accordance with the A.C.I. standard "Building Code Requirements for Reinforced Concrete" (A.C.I. 318) latest revision.
- All reinforcing steel shall be new domestic deformed billet steel conforming to ASTM A615, Grade 60 (60,000 PSI yield point).
- Reinforcing bar supports and spacers shall be provided in accordance with the Manual of Standard Practice by the Concrete Reinforcing Steel Institute.
- Concrete shall have a minimum compressive strength at 28 days of 3000 PSI.
- Grade beam concrete protection of reinforcement shall be 2" minimum top and sides, 3" minimum bottom.
- Maximum nominal coarse aggregate sizes for concrete in the slabs-on-grade shall be 3/4".
- Concrete slumps shall be 4" maximum, 2" minimum.
- Mortar for walls shall be Type M ASTM C-270, consisting of one (1) part hydrated Type S Lime, and not more than 3 3/4 parts well graded masonry sand with all proportions by volume.

PAVESTONE NOTES

- Contractor shall adhere to the Manufacturer's Installation Guidelines, Specifications, and any other requirements outlined by the Manufacturer for all paver installation.
- It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- Type 'A' Pavers to be: Type and Color to be selected by Landscape Architect.
- Type 'B' Pavers to be: Type and Color to be selected by Landscape Architect.
- 'PAVESTONE' Pavers available from: PaveStone Company Mr. Joey Guedea (800) 245-7283.
- Pattern as indicated on drawings.
- Contractor shall submit a 'PAVESTONE' Standard Color Sample Board to the Landscape Architect / Owner for color selection prior to placing order.
- The final color selection shall be made by the Landscape Architect on-site.
- The Contractor shall construct a sample panel 10'-0" by 10'-0" on-site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.
- The Landscape Architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and the Manufacturer's Specifications.
- The Contractor shall make any modifications required by the Landscape Architect at no expense to the Owner.

INTEGRAL COLORED CONCRETE NOTES

- Color shall be integral concrete. 'Chromix Admixtures' or equal as supplied by: L.M. Scofield Company 1-800-222-4100
- Contractor shall provide sample standard color board and installation specifications from L.M. Scofield for review by the Architect and Owner prior to installation.
- Contractor shall adhere to Manufacturer's Installation Guidelines, Specifications, and other requirements for all Color-Conditioned Concrete installation.
- It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- The architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and Manufacturer's Specifications.
- The Contractor shall construct a sample panel 3'-0" x 3'-0" on site, at no expense to the Owner, for approval by the Architect / Owner prior to commencing work.

DECOMPOSED GRANITE NOTES

- Provide Decomposed Granite with 'Stabilizer' Binder additive surfacing as indicated on drawings.
- Submit representative samples of items specified for approval by Landscape Architect, Architect and Owner.
- Decomposed Granite base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and various stages of decomposed earth base.
- Filler Fabric: Fabric shall be 'Mirascape', non-woven needle punched fabric made from polypropylene, non-biodegradable, inert to soil chemicals, acids and alkalines over a pH range of 3 - 12, as manufactured by MIRAFI Inc., or approved equal.
- 'Stabilizer' Binder additive to be provided by: Stabilizer Solutions 1 (800) 336-2466; www.stabilizersolutions.com Blend to be 12 - 16 lbs. of Stabilizer per ton of Decomposed Granite, thoroughly mixed throughout.
- Provide grade stakes at 10 foot centers to insure grade points indicated on drawings are met. Insure scope of subgrade and finish surface meets cross sections indicated in details.
- Prepare subgrade by excavating existing material soils to a maximum depth of 4".
- After excavation, rototill or scarify top 1 inch of subgrade and compact to 95% standard proctor using double drum, single drum or automatic hand tampers.
- Install filter fabric in bottom of excavation to limits of path.
- Place four (4) inches of Decomposed Granite with 'Stabilizer' Binder over a dry sub-base. Do not install on wet sub-base. Provide compaction of material to maximum limits with automatic hand tampers in one inch lifts, unless noted otherwise on details. Compact to achieve a tight material matrix.
- Provide twenty (20) 50 lbs. bags of pre-mixed Decomposed Granite for future use in repair and maintenance.
- The Contractor shall construct a sample panel 5'-0" x 5'-0" on site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS: IF NEEDED FOR ANY OFF-SITE REPAIRS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, steeking, etc.

LAWN REPAIR NOTES: IF NEEDED FOR ANY OFF-SITE REPAIRS

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

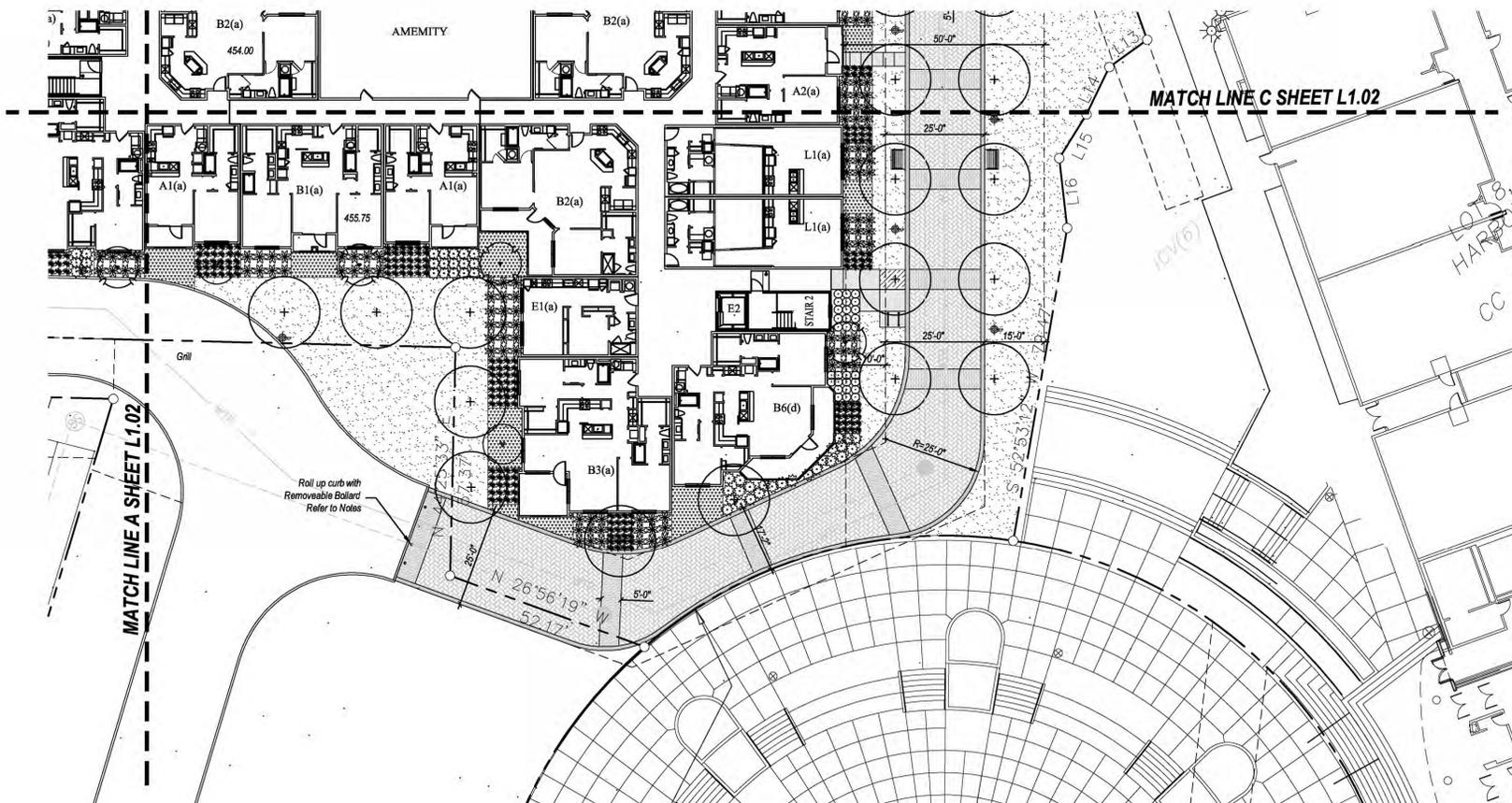
PLANT LIST

TREES	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	58	Bald Cypress	Taxodium distichum	4" cal.	container grown, 15' ht., 5' spread min.
	36	Crape Myrtle 'Dallas Red'	Lagerstroemia indica 'Dallas Red'	2" cal.	container grown, 3-5 cans, no cross caning
	36	Live Oak	Quercus virginiana	4" cal.	container grown, 15' ht., 5' spread min.
	9	Magnolia 'DD Blanchard'	Magnolia sp. 'DD Blanchard'	12" ht.	container grown, full to base
	29	October Glory Red Maple	Acer sp. 'October Glory'	3" cal.	container grown, 13' ht., 4' spread min.
	3	Red Oak 'Shumard'	Quercus shumardii	4" cal.	B&B, 14' ht., 4-5' spread min.
	15	Redbud	Cercis canadensis	2" cal.	B&B, single trunk, 10' ht. min.
	12	Vitex	Vitex agnes-castes	8" ht.	B&B or container, tree form, 3-5 cane

SHRUBS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	67	Cherry Laurel	Prunus caroliniana	5" ht.	container, full plant, 4" o.c.
	157	Nellie R. Stevens holly	Ilex sp. 'Nellie R. Stevens'	36" ht.	container, full plant, 36" o.c.
	360	Softleaf Yucca	Yucca recurvifolia	5 gal.	container, full plant, 36" o.c.
	88	Switchgrass	Panicum sp. 'Heavy Metal'	3 gal.	container, full top of container, 36" o.c.
	126	Gulf Muhly	Muhlenbergia capillaris	3 gal.	container, full top of container, 30" o.c.
	493	Hamel Grass	Pennisetum alopecuroides	3 gal.	container, full top of container, 24" o.c.
	265	Salvia 'Furman's Red'	Salvia greggii 'Furman's Red'	5 gal.	container, full plant, 24" o.c.
	1053	Mexican Feathergrass	Nassella tenuisamma	3 gal.	container, full top of container, 18" o.c.

GROUNDCOVERS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	2249	Berkeley Sedge	Carex dielsiae	4" pots	container, full top of container, 12" o.c.
	2548	Wintercreeper	Eucynymus fortunei coloratus	4" pots	container, (3) 12" runners min. 12" o.c.
		Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



GRAPHIC PLANT LEGEND

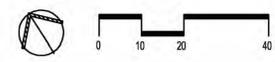
- BALD CYPRESS
- RED OAK
- CEDAR ELM
- LIVE OAK
- OCTOBER GLORY RED MAPLE
- VITEX
- REDBLUD
- CREPE MYRTLE
- CHERRY LAUREL
- NELLIE R. STEVENS HOLLY
- HEAVY METAL SWITCHGRASS
- GULF MUHLIY
- RED YUCCA
- HAMELN GRASS
- SALVIA
- MEXICAN FEATHER GRASS
- BERKELEY SEDGE
- WINTERCREEPER
- LAWN, SOLID SOD
- PLANTING BEDS Shrubs and Groundcover

GRAPHIC SITE LEGEND

- PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provenia' 'Antique Terra-cotta: 8 cm Herringbone Pattern on concrete sub-base
- PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provenia' 'Antique Terra-cotta: 8 cm Running Band Pattern on concrete sub-base
- PAVESTONE PAVER TYPE POOL COURTYARD ON CONCRETE SUB-BASE
- CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'COACHELLA SAND'
- CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'CHARCOAL'
- PEDESTRIAN BENCHES REFER TO NOTES
- PEDESTRIAN SCALE LIGHTS REFER TO NOTES



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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landscape architects, inc.
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Dallas, Texas 75202
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Fax 214.871.0595
Email srm@srm-la.com

BGO ARCHITECTS

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Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

PROJECT
17126

SHEET NUMBER
L1.03

SHEET NAME
= SANISERIFF

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SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & S plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be replaced.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

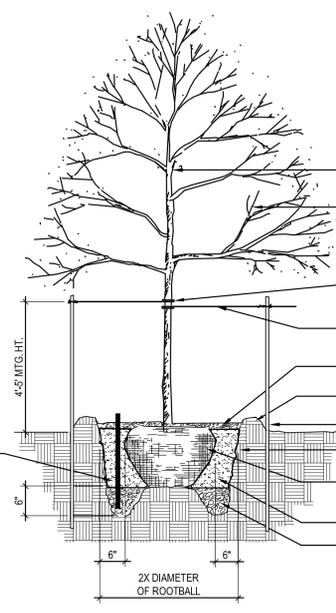
- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

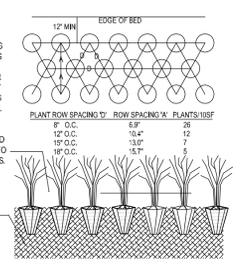
- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dalagrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertiland, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

2.3 MISCELLANEOUS MATERIALS

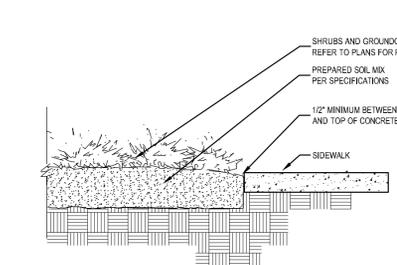
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Studded T-Post, #1 Armo with anchor plate; 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Milford 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



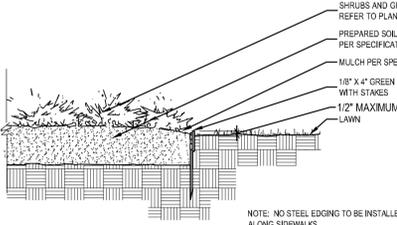
01 TREE PLANTING DETAIL
NOT TO SCALE



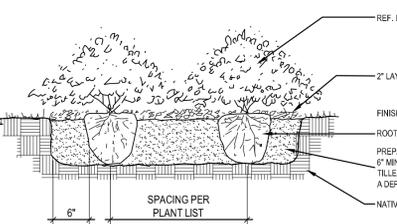
02 GROUND COVER PLANTING DETAIL
NOT TO SCALE



03 SIDEWALK / MULCH DETAIL
no steel along sidewalks NOT TO SCALE



04 STEEL EDGING DETAIL
NOT TO SCALE



05 SHRUB PLANTING DETAIL
NOT TO SCALE

REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0363
Fax 214.871.0364
Email smr@smr-tx.com

BGO ARCHITECTS
4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

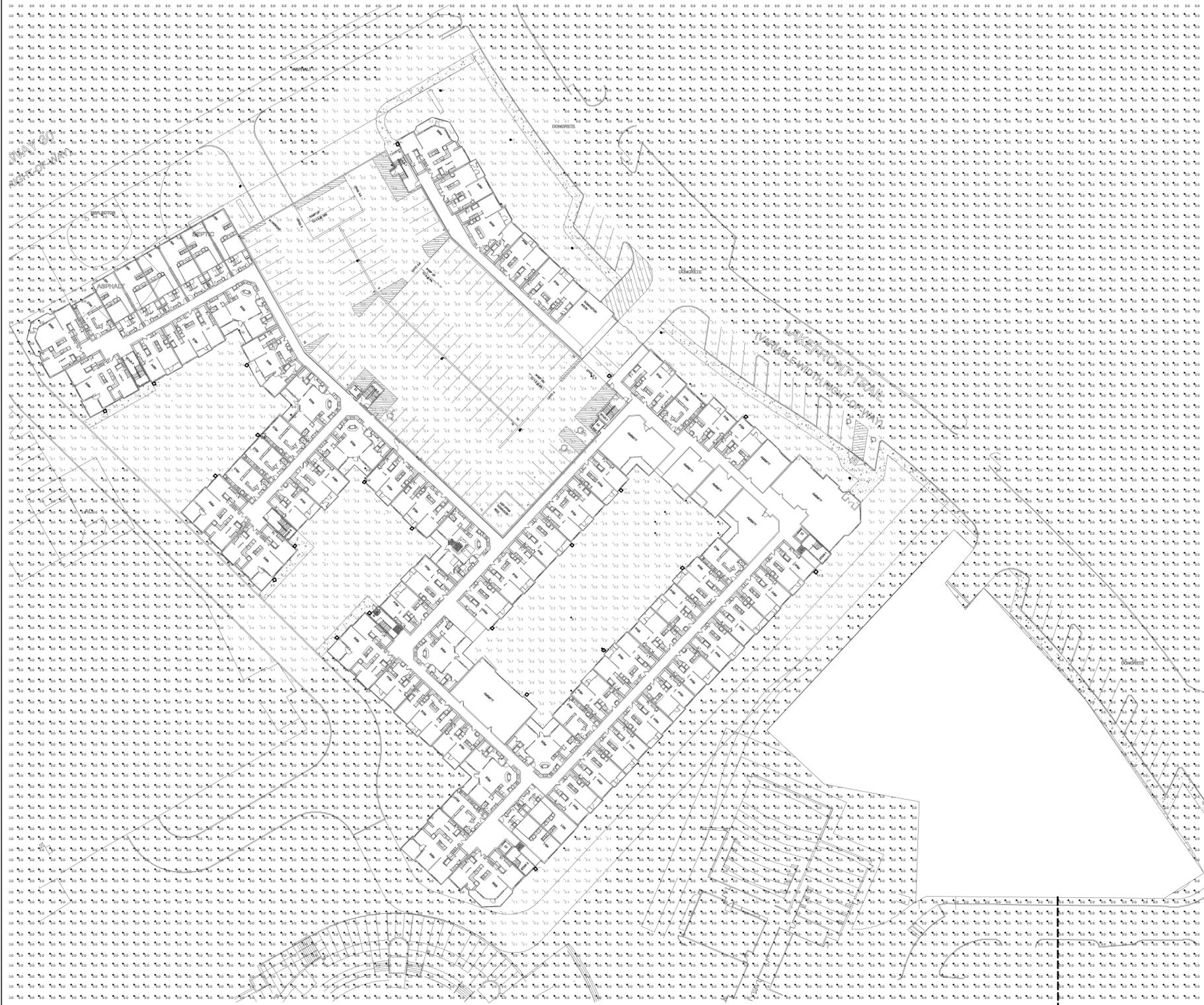
PROJECT
17126

SHEET NUMBER
L1.04

SHEET = SANSEERFF

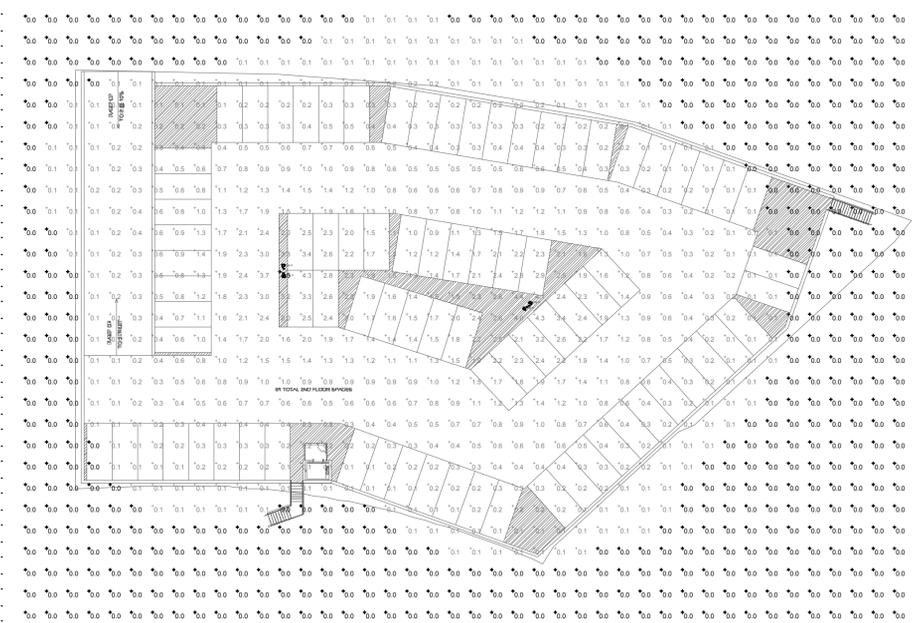
SHEET NAME
= SANSEERFF

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SITE PHOTOMETRIC PLAN | 1
1"=40' | E003

2
E003



SECOND LEVEL GARAGE PHOTOMETRIC | 2
1"=30' | E003

PRELIMINARY
NOT FOR CONSTRUCTION

This document is partially complete. The information contained is not necessarily coordinated or correct. This drawing is for review purposes only.

REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABLON

HEADQUARTERS:
811 N. BROADWAY ST.
LEBANON, OH 45036

PE SERVICES
F-10841
EXP: 11/30/19

1-866-997-0600
www.pe-services.com

CONTRACTOR NOTE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD AND TENANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.

BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION AND CODE/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE ALLOWED.

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

PROJECT
17126

SHEET NUMBER
E003
SITE
PHOTOMETRIC
PLAN

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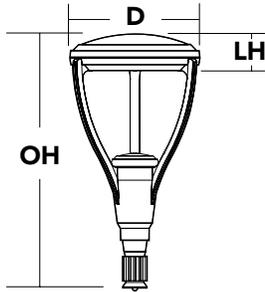


MRP LED LED Area Luminaire



Specifications

EPA:	1.125 ft ² (0.105 m ²)
Luminaire Height:	6-3/8" (16.2 cm)
Overall Height:	32" (81.3 cm)
Diameter:	18" (45.7 cm)
Weight (max):	37.5 lbs (17 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: MRP LED 42C 700 40K SR5 MVOLT DDBXD

MRP LED	Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
MRP LED	42C	42 LEDs (one engine)	350 350mA 530 530mA 700 700mA 1000 1000mA (1A)	30K 3000K 40K 4000K 50K 5000K	SR2 Type II SR3 Type III SR4 Type IV SR5 Type V	MVOLT ¹ 277 ² 120 ² 347 ² 208 ² 480 ² 240 ²	Shipped included (blank) Fits 4"OD round pole Shipped separately ³ MRPT20 2-3/8" tenon slipfitter MRPT25 2-7/8" tenon slipfitter Shipped separately ³ MRPT30 3-1/2" tenon slipfitter MRPT35 4" tenon slipfitter MRPF3 3"OD round pole adapter MRPF5 5"OD round pole adapter ⁴
Control options			Other options		Finish (required)		
Shipped installed PER NEMA twist-lock receptacle only (control ordered separate) PER5 Five-wire receptacle only (control ordered separate) ⁵ PER7 Seven-wire receptacle only (control ordered separate) ⁵ BL30 Bi-level switched dimming, 30% ^{6,7} BL50 Bi-level switched dimming, 50% ^{6,7}			PNMTDD3 Part night, dim till dawn ⁷ PNMT5D3 Part night, dim 5 hrs ⁷ PNMT6D3 Part night, dim 6 hrs ⁷ PNMT7D3 Part night, dim 7 hrs ⁷		SF Single fuse (120, 277, 347V) ² DF Double fuse (208, 240, 480V) ² DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white		



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ⁸
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ⁸
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ⁸
DSHORT SBK U	Shorting cap ⁸
MRPT20 DDBXD U	2-3/8" tenon slipfitter (specify finish)
MRPT25 DDBXD U	2-7/8" tenon slipfitter (specify finish)
MRPT30 DDBXD U	3-1/2" tenon slipfitter (specify finish)
MRPT35 DDBXD U	4" tenon slipfitter (specify finish)
MRPF3 DDBXD U	3" OD round pole adapter (specify finish)
MRPF5 DDBXD U	5" OD round pole adapter (specify finish) ³

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see Accessories information at left.
- Maximum pole wall thickness is 0.156".
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.
- Requires an additional switched line.
- Dimming driver standard. Not available with 347V, 480V, SF, DF, PER5 or PER7.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
42C (42 LEDs)	530	75W	SR2	5,456	1	2	1	73	6,605	1	2	1	88	6,671	1	2	1	89
			SR3	5,436	1	1	1	72	6,581	1	1	2	88	6,647	1	1	2	89
			SR4	5,399	1	1	1	72	6,537	1	1	2	87	6,602	1	1	2	88
			SR5	5,748	3	1	3	77	6,959	3	1	3	83	7,029	3	1	3	94
	700	100W	SR2	6,630	1	2	1	66	8,026	2	2	2	80	8,106	2	2	2	81
			SR3	6,605	1	1	2	66	7,997	1	2	2	80	8,077	1	2	2	81
			SR4	6,561	1	1	2	66	7,943	1	2	2	79	8,022	1	2	2	80
			SR5	6,985	3	1	3	70	8,456	3	2	3	85	8,541	3	2	3	85
	1000	151W	SR2	8,165	2	2	2	54	9,885	2	2	2	65	9,983	2	2	2	66
			SR3	8,135	1	2	2	54	9,848	2	2	2	65	9,947	2	2	2	66
			SR4	8,080	2	2	2	54	9,782	2	2	2	65	9,880	2	2	2	65
			SR5	8,602	3	2	3	57	10,414	4	2	4	70	10,518	4	2	4	70

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 6/Wire7	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

✓ Recommended

⊘ Will not work

⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.06
10°C	50°F	1.04
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.96

Projected LED Lumen Maintenance

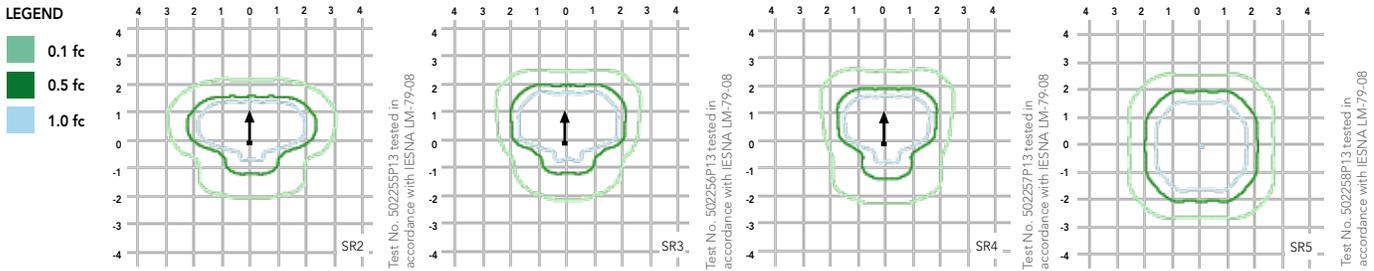
Data references the extrapolated performance projections for the **MRP LED 42C 700** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.96	0.92	0.85



Isofootcandle plots are considered to be representative of available optical distributions.



FEATURES & SPECIFICATIONS

INTENDED USE

Streets, walkways, parking lots and surrounding areas.

CONSTRUCTION

Single-piece die-cast aluminum housing with nominal wall thickness of .012". Die-cast top access doorframe has impact-resistant, tempered glass lens (3/16" thick). Doorframe is fully gasketed with one-piece tubular silicone.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

Precision acrylic refractive optics for optimum light distribution through the flat glass lens. Light engines are available in standard 3000K (70 CRI) or optional 4000K (70 CRI) or 5000K (70 CRI) configurations.

ELECTRICAL

Light engine consists of 42 high-efficacy LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low for operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Standard post-top mounting configuration fits into a 4" OD open pole top (round pole only). Multiple options and accessories are available for other mounting needs.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient. **U.S. Patent No. D556,357.**

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



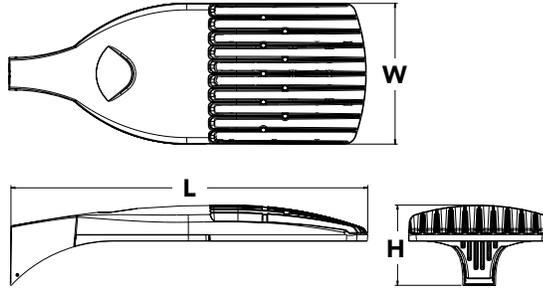
D-Series Size 1 LED Area Luminaire

d#series



Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



A+ Capable options indicated by this color background.

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ²	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ^{2,3} LCCO Left corner cutoff ^{2,3} RCCO Right corner cutoff ^{2,3}	MVOLT ^{4,5} 120 ⁶ 208 ^{5,6} 240 ^{5,6} 277 ⁶ 347 ^{5,6,7} 480 ^{5,6,7}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁸ RPUMBA Round pole universal mounting adaptor ⁸ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹⁰ PER NEMA twist-lock receptacle only (controls ordered separate) ¹¹ PER5 Five-wire receptacle only (controls ordered separate) ^{11,12} PER7 Seven-wire receptacle only (controls ordered separate) ^{11,12} DMG 0-10V dimming extend out back of housing for external control (leads exit fixture) DS Dual switching ^{13,14} PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{5,15,16} PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{5,15,16} PIRHN Network, Bi-Level motion/ambient sensor ¹⁷ PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,15,16}	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,15,16} BL30 Bi-level switched dimming, 30% ^{5,14,18} BL50 Bi-level switched dimming, 50% ^{5,14,18} PNMTDD3 Part night, dim till dawn ^{5,19} PNMT5D3 Part night, dim 5 hrs ^{5,19} PNMT6D3 Part night, dim 6 hrs ^{5,19} PNMT7D3 Part night, dim 7 hrs ^{5,19} FAO Field adjustable output ²⁰	Shipped installed HS House-side shield ²¹ SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ¹ R90 Right rotated optics ¹ Shipped separately BS Bird spikes ²² EGS External glare shield ²²
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

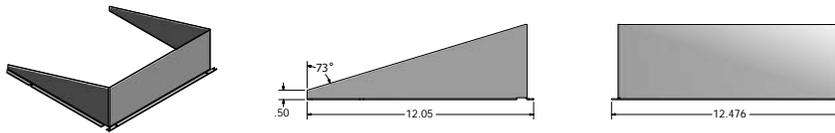
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²³
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²³
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²³
DSHORT SBK U	Shorting cap ²³
DSX1HS 30C U	House-side shield for 30 LED unit ²¹
DSX1HS 40C U	House-side shield for 40 LED unit ²¹
DSX1HS 60C U	House-side shield for 60 LED unit ²¹
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²⁴
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

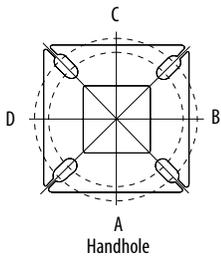
- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- AMBPC is not available with BLC, LCCO, RCCO or P4, P7, P8, P9 or P13.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Any PIRx with BL30, BL50 or PNMT, is not available with 208V, 240V, 347V, 480V or MVOLT. It is only available in 120V or 277V specified.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available in P1 or P10. Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Must be ordered with PIRHN.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming. Shorting cap included.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- Requires (2) separately switched circuits.
- Reference Motion Sensor table on page 3.
- Reference PER table on page 3 to see functionality.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Not available with 347V, 480V, PNMT, DS. For PER5 or PER7, see PER Table on page 3. Requires isolated neutral.
- Not available with 347V, 480V, DS, BL30, BL50. For PER5 or PER7, see PER Table on page 3. Separate Dusk to Dawn required.
- Not available with other dimming controls options
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- For retrofit use only.

External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Pole drilling nomenclature: # of heads at degree from handhole (default side A)

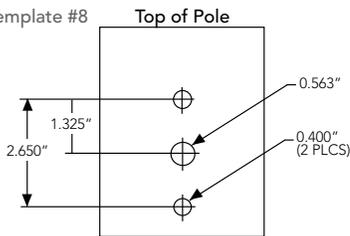
DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
Side B	Side B & D	Side B & C	Round pole only	Side B, C, & D	Sides A, B, C, D

Note: Review luminaire spec sheet for specific nomenclature

Pole top or tenon O.D.	4.5" @ 90°	4" @ 90°	3.5" @ 90°	3" @ 90°	4.5" @ 120°	4" @ 120°	3.5" @ 120°	3" @ 120°
DSX SPA	Y	Y	Y	N	-	-	-	-
DSX RPA	Y	Y	N	N	Y	Y	Y	Y
DSX SPUMBA	Y	N	N	N	-	-	-	-
DSX RPUMBA	N	N	N	N	Y	Y	Y	N

*3 fixtures @120 require round pole top/tenon.

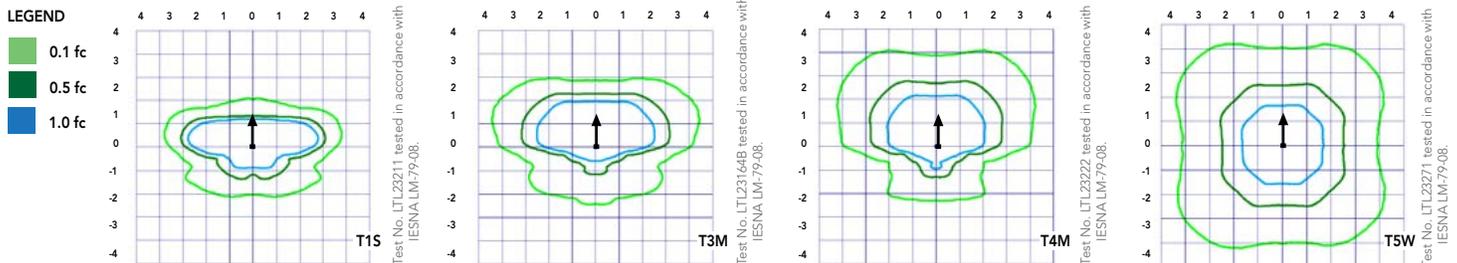
Template #8



Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	100000
Lumen Maintenance Factor	1.00	0.96	0.92	0.85

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with Inline Dusk to Dawn or timer.

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	▲	Wired to dimming leads on driver	▲	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	✗	✓	Wired to dimming leads on driver	▲	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	✗	▲	Wires Capped inside fixture	▲	Wires Capped inside fixture	Wires Capped inside fixture
Future-proof*	✗	▲	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Future-proof* with Motion	✗	▲	Wires Capped inside fixture	✓	Wires Capped inside fixture	Wires Capped inside fixture

✓ Recommended
✗ Will not work
▲ Alternate

*Future-proof means: Ability to change controls in the future.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																												
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130	3,640	1	0	1	70				
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130	3,813	1	0	1	73				
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131	3,689	1	0	1	71				
				T3S	6,279	2	0	2	116	6,764	2	0	2	125	6,850	2	0	2	127	3,770	1	0	1	73				
				T3M	6,468	1	0	2	120	6,967	1	0	2	129	7,056	1	0	2	131	3,752	1	0	1	72				
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128	3,758	1	0	1	72				
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131	3,701	1	0	1	71				
				TSVS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136	3,928	2	0	0	76				
				T5S	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136	3,881	2	0	0	75				
				T5M	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136	3,930	2	0	1	76				
				TSW	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135	3,820	3	0	1	73				
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107									
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80									
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80									
				30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129	4,561	1	0	1	67
								T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128	4,777	1	0	1	70
T2M	8,283	2	0					2	118	8,923	2	0	2	127	9,036	2	0	2	129	4,622	1	0	2	68				
T3S	8,021	2	0					2	115	8,641	2	0	2	123	8,751	2	0	2	125	4,724	1	0	1	69				
T3M	8,263	2	0					2	118	8,901	2	0	2	127	9,014	2	0	2	129	4,701	1	0	2	69				
T4M	8,083	2	0					2	115	8,708	2	0	2	124	8,818	2	0	2	126	4,709	1	0	2	69				
TFTM	8,257	2	0					2	118	8,896	2	0	2	127	9,008	2	0	2	129	4,638	1	0	2	68				
TSVS	8,588	3	0					0	123	9,252	3	0	0	132	9,369	3	0	0	134	4,922	2	0	0	72				
T5S	8,595	3	0					1	123	9,259	3	0	1	132	9,376	3	0	1	134	4,863	2	0	0	72				
T5M	8,573	3	0					2	122	9,236	3	0	2	132	9,353	3	0	2	134	4,924	3	0	1	72				
TSW	8,517	3	0					2	122	9,175	4	0	2	131	9,291	4	0	2	133	4,787	3	0	1	70				
BLC	6,770	1	0					2	97	7,293	1	0	2	104	7,386	1	0	2	106									
LCCO	5,038	1	0					2	72	5,427	1	0	2	78	5,496	1	0	2	79									
RCCO	5,038	1	0					2	72	5,427	1	0	2	78	5,496	1	0	2	79									
30	1050	P3	102W					T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125					
								T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125					
				T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125									
				T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121									
				T3M	11,680	2	0	2	115	12,582	2	0	2	123	12,742	2	0	2	125									
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122									
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125									
				TSVS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130									
				T5S	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130									
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130									
				TSW	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129									
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102									
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76									
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76									
				30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117					
								T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117					
T2M	13,490	2	0					2	108	14,532	3	0	3	116	14,716	3	0	3	118									
T3S	13,064	3	0					3	105	14,074	3	0	3	113	14,252	3	0	3	114									
T3M	13,457	2	0					2	108	14,497	2	0	2	116	14,681	2	0	2	117									
T4M	13,165	2	0					3	105	14,182	2	0	3	113	14,362	2	0	3	115									
TFTM	13,449	2	0					3	108	14,488	2	0	3	116	14,672	2	0	3	117									
TSVS	13,987	4	0					1	112	15,068	4	0	1	121	15,259	4	0	1	122									
T5S	13,999	3	0					1	112	15,080	3	0	1	121	15,271	3	0	1	122									
T5M	13,963	4	0					2	112	15,042	4	0	2	120	15,233	4	0	2	122									
TSW	13,872	4	0					3	111	14,944	4	0	3	120	15,133	4	0	3	121									
BLC	11,027	1	0					2	88	11,879	1	0	2	95	12,029	1	0	2	96									
LCCO	8,205	1	0					3	66	8,839	1	0	3	71	8,951	1	0	3	72									
RCCO	8,205	1	0					3	66	8,839	1	0	3	71	8,951	1	0	3	72									
30	1400	P5	138W					T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116					
								T2S	14,664	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116					
				T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117									
				T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113									
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116									
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114									
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116									
				TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121									
				T5S	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121									
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121									
				TSW	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120									
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95									
				LCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1												

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																								
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lu-mens	B	U	G	LPW
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118					
				T2S	17,635	3	0	3	108	18,998	3	0	3	117	19,238	3	0	3	118					
				T2M	17,726	3	0	3	109	19,096	3	0	3	117	19,337	3	0	3	119					
				T3S	17,167	3	0	3	105	18,493	3	0	3	113	18,727	3	0	3	115					
				T3M	17,683	3	0	3	108	19,049	3	0	3	117	19,290	3	0	3	118					
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116					
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118					
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123					
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123					
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123					
				T5W	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122					
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97					
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72					
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72					
				40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115	
T2S	19,206	3	0					3	105	20,690	3	0	3	113	20,952	3	0	3	114					
T2M	19,305	3	0					3	105	20,797	3	0	3	114	21,060	3	0	3	115					
T3S	18,696	3	0					3	102	20,141	3	0	3	110	20,396	3	0	4	111					
T3M	19,258	3	0					3	105	20,746	3	0	3	113	21,009	3	0	3	115					
T4M	18,840	3	0					4	103	20,296	3	0	4	111	20,553	3	0	4	112					
TFTM	19,246	3	0					4	105	20,734	3	0	4	113	20,996	3	0	4	115					
TSVS	20,017	4	0					1	109	21,564	4	0	1	118	21,837	4	0	1	119					
T5S	20,033	4	0					2	109	21,581	4	0	2	118	21,854	4	0	2	119					
T5M	19,983	4	0					2	109	21,527	5	0	3	118	21,799	5	0	3	119					
T5W	19,852	5	0					3	108	21,386	5	0	3	117	21,656	5	0	3	118					
BLC	15,780	2	0					3	86	16,999	2	0	3	93	17,214	2	0	3	94					
LCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70					
RCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70					
60	1050	P8	207W					T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119	
				T2S	22,466	3	0	4	109	24,202	3	0	4	117	24,509	3	0	4	118					
				T2M	22,582	3	0	3	109	24,327	3	0	3	118	24,635	3	0	3	119					
				T3S	21,870	3	0	4	106	23,560	3	0	4	114	23,858	3	0	4	115					
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119					
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116					
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119					
				TSVS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123					
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123					
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123					
				T5W	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122					
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97					
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72					
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72					
				60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116	
T2S	25,548	3	0					4	106	27,522	3	0	4	114	27,871	3	0	4	116					
T2M	25,680	3	0					3	107	27,664	3	0	3	115	28,014	3	0	3	116					
T3S	24,870	3	0					4	103	26,791	3	0	4	111	27,130	3	0	4	113					
T3M	25,617	3	0					4	106	27,597	3	0	4	115	27,946	3	0	4	116					
T4M	25,061	3	0					4	104	26,997	3	0	4	112	27,339	3	0	4	113					
TFTM	25,602	3	0					4	106	27,580	3	0	4	114	27,929	3	0	4	116					
TSVS	26,626	5	0					1	110	28,684	5	0	1	119	29,047	5	0	1	121					
T5S	26,648	4	0					2	111	28,707	5	0	2	119	29,070	5	0	2	121					
T5M	26,581	5	0					3	110	28,635	5	0	3	119	28,997	5	0	3	120					
T5W	26,406	5	0					4	110	28,447	5	0	4	118	28,807	5	0	4	120					
BLC	20,990	2	0					3	87	22,612	2	0	3	94	22,898	2	0	3	95					
LCCO	15,619	2	0					4	65	16,825	2	0	4	70	17,038	2	0	4	71					
RCCO	15,619	2	0					4	65	16,825	2	0	4	70	17,038	2	0	4	71					



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																									
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)					
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134	7,167	2	0	2	72	
				T2S	12,967	4	0	4	122	13,969	4	0	4	132	14,146	4	0	4	133	7,507	2	0	2	76	
				T2M	13,201	3	0	3	125	14,221	3	0	3	134	14,401	3	0	3	136	7,263	2	0	2	73	
				T3S	12,766	4	0	4	120	13,752	4	0	4	130	13,926	4	0	4	131	7,424	2	0	2	75	
				T3M	13,193	4	0	4	124	14,213	4	0	4	134	14,393	4	0	4	136	7,387	2	0	2	75	
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133	7,400	2	0	2	75	
				TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137	7,288	1	0	2	74	
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138	7,734	3	0	1	78	
				T5S	13,260	3	0	1	125	14,284	3	0	1	135	14,465	3	0	1	136	7,641	3	0	0	77	
				T5M	13,256	4	0	2	125	14,281	4	0	2	135	14,462	4	0	2	136	7,737	3	0	2	78	
				TSW	13,137	4	0	3	124	14,153	4	0	3	134	14,332	4	0	3	135	7,522	3	0	2	76	
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112						
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80						
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80						
60	700	P11	137W	T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132	8,952	2	0	2	68	
				T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131	9,377	2	0	2	72	
				T2M	16,758	4	0	4	122	18,053	4	0	4	132	18,281	4	0	4	133	9,072	2	0	2	69	
				T3S	16,205	4	0	4	118	17,457	4	0	4	127	17,678	4	0	4	129	9,273	2	0	2	71	
				T3M	16,748	4	0	4	122	18,042	4	0	4	132	18,271	4	0	4	133	9,227	2	0	2	70	
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131	9,243	2	0	2	71	
				TFTM	16,857	4	0	4	123	18,159	4	0	4	133	18,389	4	0	4	134	9,103	2	0	2	69	
				TSVS	16,975	4	0	1	124	18,287	4	0	1	133	18,518	4	0	1	135	9,661	3	0	1	74	
				T5S	16,832	4	0	1	123	18,133	4	0	2	132	18,362	4	0	2	134	9,544	3	0	1	73	
				T5M	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134	9,665	3	0	2	74	
				TSW	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133	9,395	4	0	2	72	
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110						
				LCCO	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79						
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79						
60	1050	P12	207W	T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121						
				T2S	22,864	4	0	4	110	24,631	5	0	5	119	24,943	5	0	5	120						
				T2M	23,277	4	0	4	112	25,075	4	0	4	121	25,393	4	0	4	123						
				T3S	22,509	4	0	4	109	24,248	5	0	5	117	24,555	5	0	5	119						
				T3M	23,263	4	0	4	112	25,061	4	0	4	121	25,378	4	0	4	123						
				T4M	22,824	5	0	5	110	24,588	5	0	5	119	24,899	5	0	5	120						
				TFTM	23,414	5	0	5	113	25,223	5	0	5	122	25,543	5	0	5	123						
				TSVS	23,579	5	0	1	114	25,401	5	0	1	123	25,722	5	0	1	124						
				T5S	23,380	4	0	2	113	25,187	4	0	2	122	25,506	4	0	2	123						
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123						
				TSW	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122						
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101						
				LCCO	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72						
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72						
60	1250	P13	231W	T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120						
				T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119						
				T2M	25,710	4	0	4	111	27,696	4	0	4	120	28,047	4	0	4	121						
				T3S	24,862	5	0	5	108	26,783	5	0	5	116	27,122	5	0	5	117						
				T3M	25,695	5	0	5	111	27,680	5	0	5	120	28,031	5	0	5	121						
				T4M	25,210	5	0	5	109	27,158	5	0	5	118	27,502	5	0	5	119						
				TFTM	25,861	5	0	5	112	27,860	5	0	5	121	28,212	5	0	5	122						
				TSVS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123						
				T5S	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122						
				T5M	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122						
				TSW	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121						
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100						
				LCCO	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72						
									15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72		

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1

electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





D-Series Size 2 LED Wall Luminaire



d^{series}

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

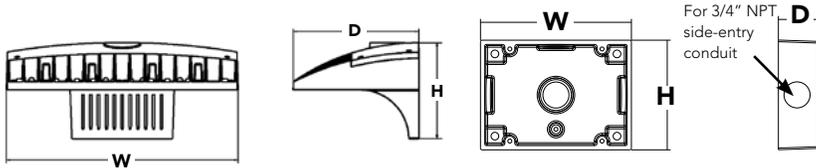
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	20C 20 LEDs (two engines) 30C 30 LEDs (three engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA ¹ (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ²	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT ³ 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ^{4,5} 480 ^{4,5}	Shipped included (blank) Surface mounting bracket Shipped separately⁶ BBW Surface-mounted back box (for conduit entry)	Shipped installed PE Photoelectric cell, button type ⁷ PER NEMA twist-lock receptacle only (control ordered separate) ⁸ PER5 Five-wire receptacle only (control ordered separate) ^{8,9} PER7 Seven-wire receptacle only (control ordered separate) ^{8,9} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}

Other Options

Finish (required)

Shipped installed	Shipped separately¹³	DDBXD Dark bronze	DSSXD Sandstone	DWHGXD Textured white
SF Single fuse (120, 277, 347V) ³	BSW Bird-deterrent spikes	DBLXD Black	DDBTXD Textured dark bronze	DSSTXD Textured sandstone
DF Double fuse (208, 240, 480V) ³	WG Wire guard	DNAXD Natural aluminum	DBLBXD Textured black	
HS House-side shield ⁴	VG Vandal guard	DWHXD White	DNATXD Textured natural aluminum	
SPD Separate surge protection ¹³				



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photozell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photozell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photozell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DB8XD U	Back box accessory (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photozell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119
	530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
			T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
			T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
			T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
			T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117
	1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105					
			T2M	6,954	2	0	2	95	7,467	2	0	2	102					
			T3S	7,057	1	0	2	97	7,579	1	0	2	104					
			T3M	7,172	2	0	3	98	7,702	2	0	3	106					
			T4M	7,076	1	0	2	97	7,599	1	0	2	104					
			TFTM	7,071	1	0	2	97	7,594	1	0	2	104					
(30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
	530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115
	1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103					
			T2M	10,184	2	0	3	93	10,936	2	0	3	100					
			T3S	10,335	2	0	2	95	11,099	2	0	2	102					
			T3M	10,505	2	0	3	96	11,280	2	0	3	103					
			T4M	10,365	2	0	2	95	11,129	2	0	2	102					
			TFTM	10,356	2	0	2	95	11,121	2	0	3	102					

Note:

Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with Inline Dusk to Dawn or timer

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

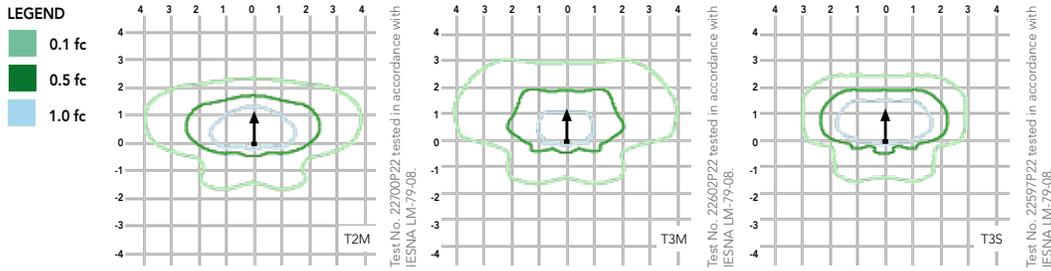
✓ Recommended

⊘ Will not work

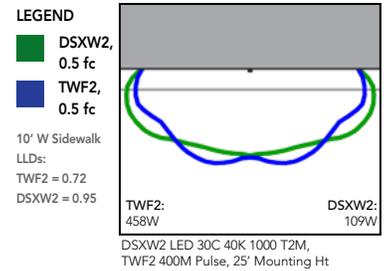
⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



Distribution overlay comparison to 400W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.